

GARVIN PARK VICINITY PLAN
NO SCALE

Mayor's Office
Stephanie Terry, Mayor
Lindsay Snyder, Deputy Mayor

Board of Park Commissioners
Wayne Kinney
John Bates
Derrick Cleon
Reese A. Hamilton
Janice K. Davies

Department of Parks and Recreation
Danielle Crook - Executive Director
Paul Bouseman - Deputy Director

GARVIN PARK ACTIVITY ZONE

GARVIN PARK
45 DON MATTINGLY WAY
EVANSVILLE, IN 47711



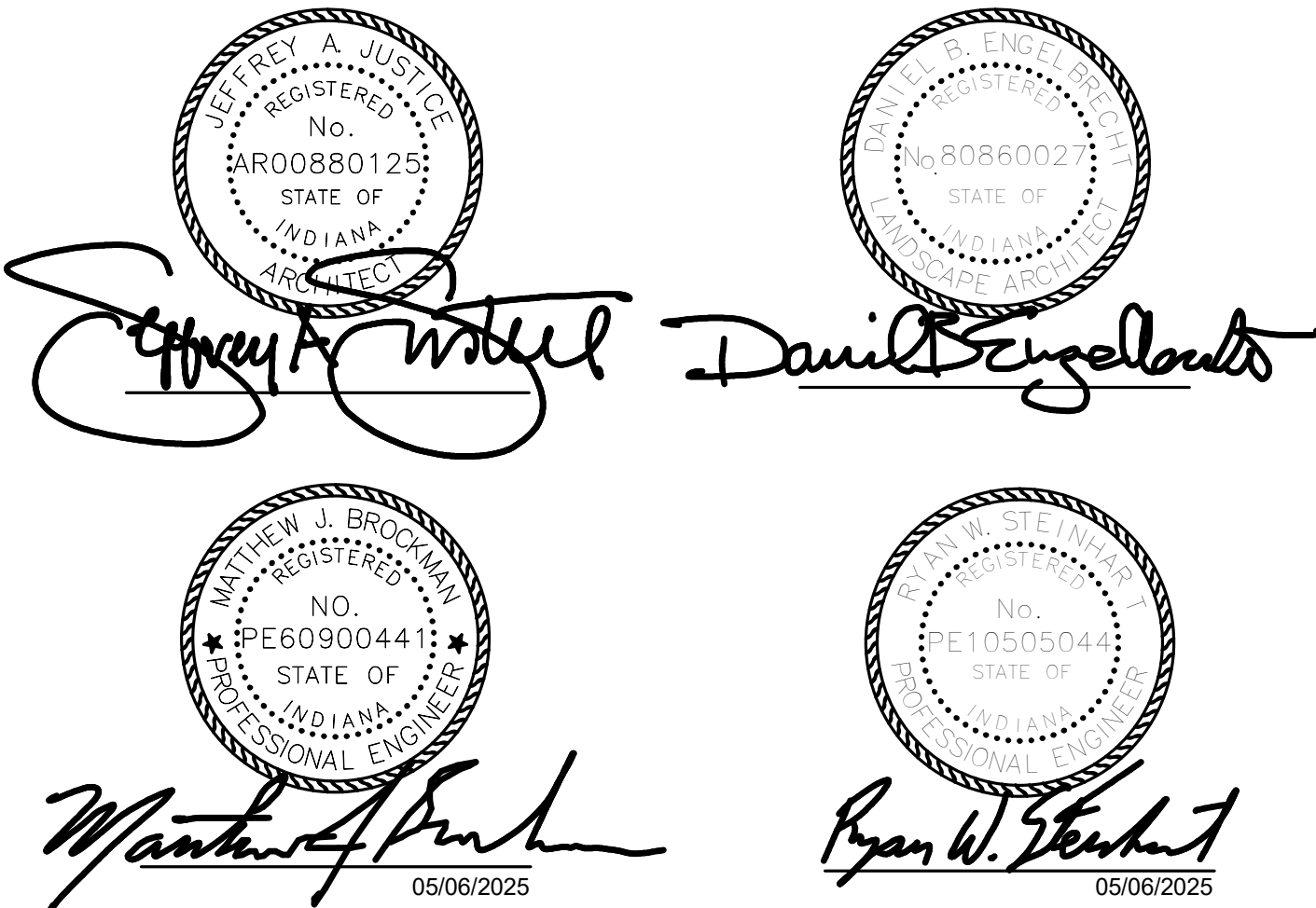
IFB-508-02-2025

Project No. 2402-146

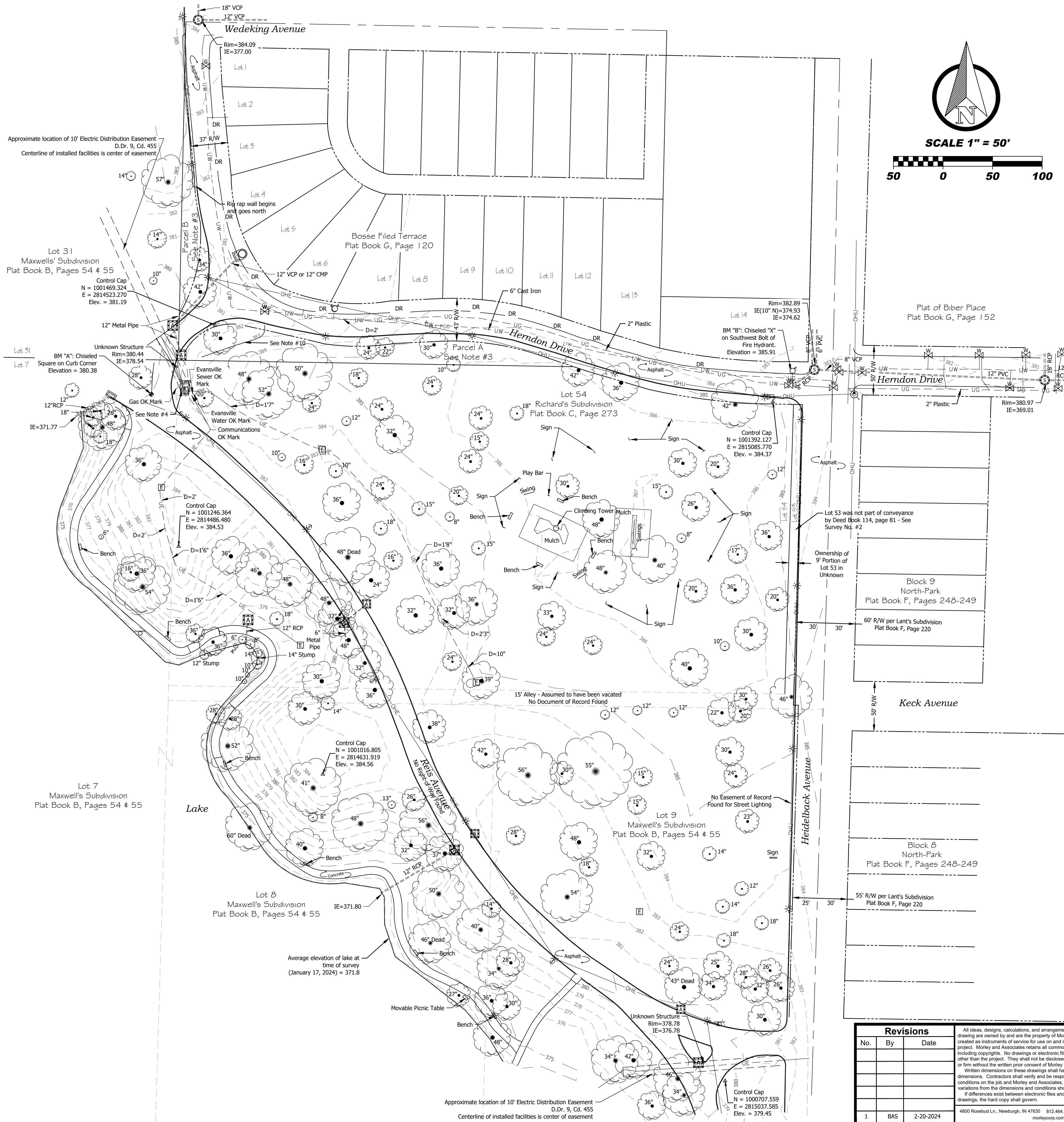
Date: May, 2025

HAFER
architects • designers • engineers

21 SE Third Street,
Suite 800
Evansville, IN 47708
T: 812.422.4187
F: 812.421.6776
www.haferdesign.com

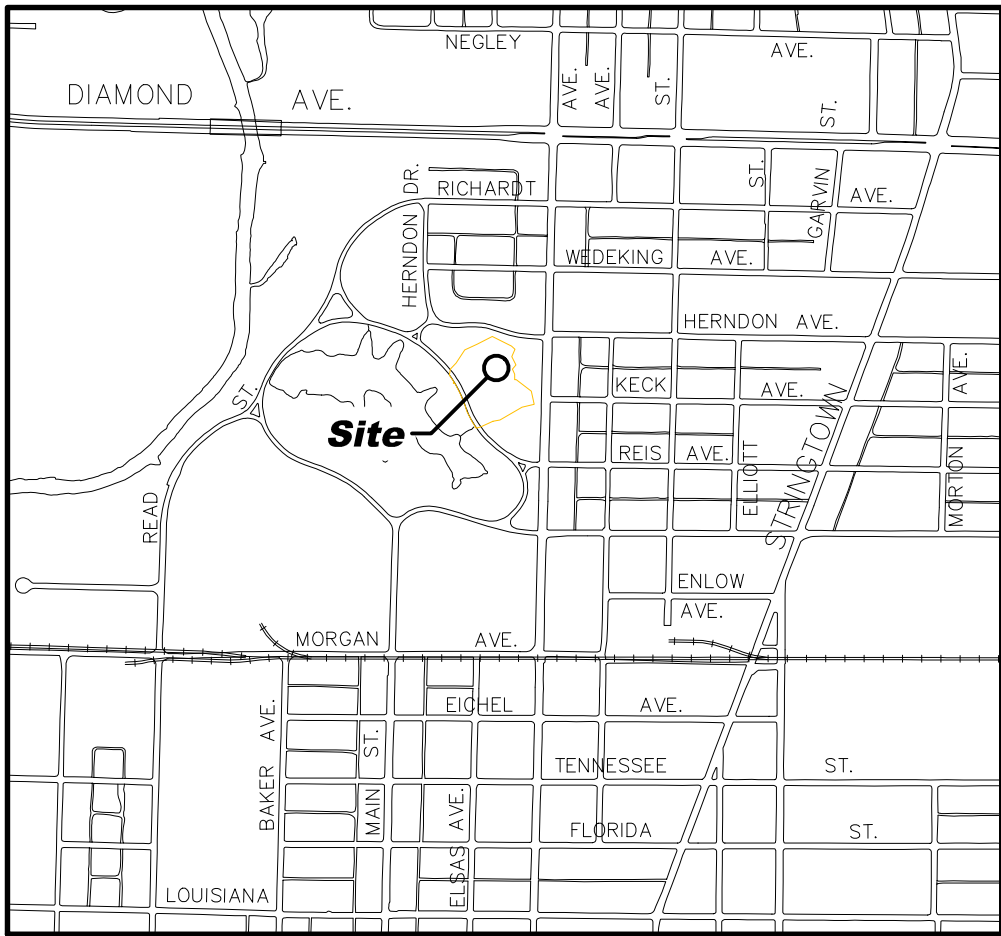


SHEET INDEX	
SHEET NO.	SHEET NAME
GENERAL	
Cover	COVER
CIVIL	
C101	PARTIAL RETRACEMENT AND TOPOGRAPHIC SURVEY
C102	DRAINAGE PLAN
C103	UTILITY PLAN
C105	DRAINAGE DETAILS
LANDSCAPE	
EC1.1	DEMOLITION AND EROSION CONTROL PLAN
EC1.2	DEMOLITION DETAILS AND SWPP
EC2.1	EROSION CONTROL DETAILS AND SWPPP
L1.1	HARDSCAPE PLAN
L1.2	GRADING PLAN
L1.3	LANDSCAPE PLAN
L2.1	SITE DETAILS
ARCHITECTURAL	
A1.1	FLOOR PLAN AND FINISH DETAILS
A2.1	BUILDING ELEVATIONS AND DETAILS
STRUCTURAL	
S1.1	FOUNDATION PLAN , FRAMING PLAN & DETAILS
PLUMBING	
FP0.0	PLUMBING LEGENDS
P1.1	PLUMBING PLANS AND DETAILS
P2.1	PLUMBING SCHEDULES
MECHANICAL	
M0.0	MECHANICAL LEGENDS
M1.1	HVAC PLAN AND SCHEDULES
ELECTRICAL	
E1.1	ELECTRICAL LEGEND, LIGHTING FIXTURE SCHEDULE AND DETAILS
E2.1	SITE ELECTRICAL PLAN
E3.1	ONE-LINE AND BUSSING DIAGRAMS



Legend

- Area Drain
- Center Line
- Curb Inlet
- Right-of-way Line
- Electric Junction Box
- Overhead Electric
- Electric Meter
- Overhead Utilities
- Electric Transformer
- Underground Electric
- Fire Hydrant
- Underground Gas
- Gas Valve
- Underground Water
- Guy Wire
- Light Pole
- Sanitary Sewer Manhole
- Sign
- Water Valve
- DR
- D=x"x" Depth of Utility line per Underground Detective



Survey Notes:

- Project Scope: Provide a topographic survey showing road right of ways and easements based upon limited boundary data found in the field. This survey does not represent a Retracement Survey to I.A.G. Title 865 Retracement Standards.
- The surveyed area was part of the area conveyed to the City of Evansville and is of record in Deed Book 114, Page 81. Lots 7, 8 & 9 and part of Lot 31 of Maxwell's Subdivision and Lot 54 of Richard's Subdivision, which are all part of this survey, were part of the conveyance. No documentation for ownership for a 9' strip off the west end of Lot 53 of Richard's Subdivision, and replatted as part of Lant's Subdivision, being along the east side of the surveyed area, could be located.
- Parcels A & B on the survey, being areas south and west of Herndon Drive were dedicated to the City of Evansville in the plat of Bosse Field Terrace, Plat Book G, Page 120.
- Easements were searched for by using Tapestry/Laredo. No easements were found in the surveyed area. It is believed that there may be an easement for the transformer located at the northwest corner of the site.
- Horizontal Coordinates: Indiana State Plane West 1302 NAD 83 (US Feet)
- Vertical Datum: NAVD 1988 based upon OPUS observation on December 21, 2023
- This survey plat does not represent evidence as to the location of underground features such as coal, oil, gas, tanks, wells or any other rights or claims that may exist underground and no claim or liability is expressed by the surveyor.
- This survey plat does not purport to indicate any evidence of hazardous or environmentally injurious materials and the surveyor expressly disclaims any responsibility or liability for the same.
- This survey plat may indicate the possible presence of underground utility services. All underground utility lines or features shown hereon are based on visible above ground features and or paint markings placed on the ground by the underground locate service and or maps provided by the operating companies. Additional underground utilities may exist, and their locations may vary from those shown. All contractors are required by law to contact the underground locate services prior to any digging or disturbance of the surface. Call 811. 3 locates were placed on-line. The Confirmation numbers for those tickets are as follows: #2401181962 placed for the entire site; #2401260129 for pavement of Herndon Drive west of Heidelberg Ave.; and 2402065338 for pavement of Herndon Dr. east of Heidelberg Ave.
- Underground Detective located private utilities for the survey. Their work was completed on January 29, 2024 and included the electric lines feeding easterly off the transformer at the west side of the survey. A line of unknown use was found north of the transformer near the intersection of Herndon Drive and the entrance into the park.
- Morley and its employees have made no attempt to physically locate underground features such as footings and other underground improvements.
- This survey is based on documentation provided or found at the time of the survey. Any document or information that may be provided later may change the surveyor's opinion as to the location of the lines and features shown on this survey.
- No cemeteries, grave sites, burial grounds or head stones were observed during the course of the fieldwork.
- Control cap = 5/8" steel rebar with orange plastic cap stamped "Morley Control".
- Sizes of utilities shown are per utility maps and 811 dig ticket notes.

Revisions		
No.	By	Date
1	BAS	2-20-2024

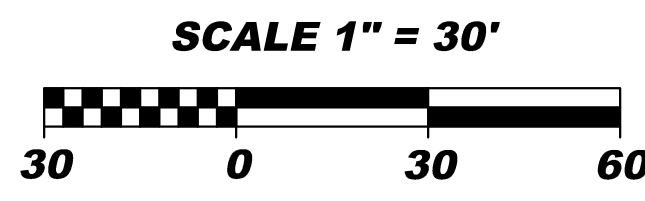
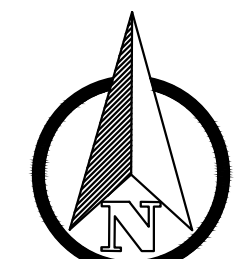
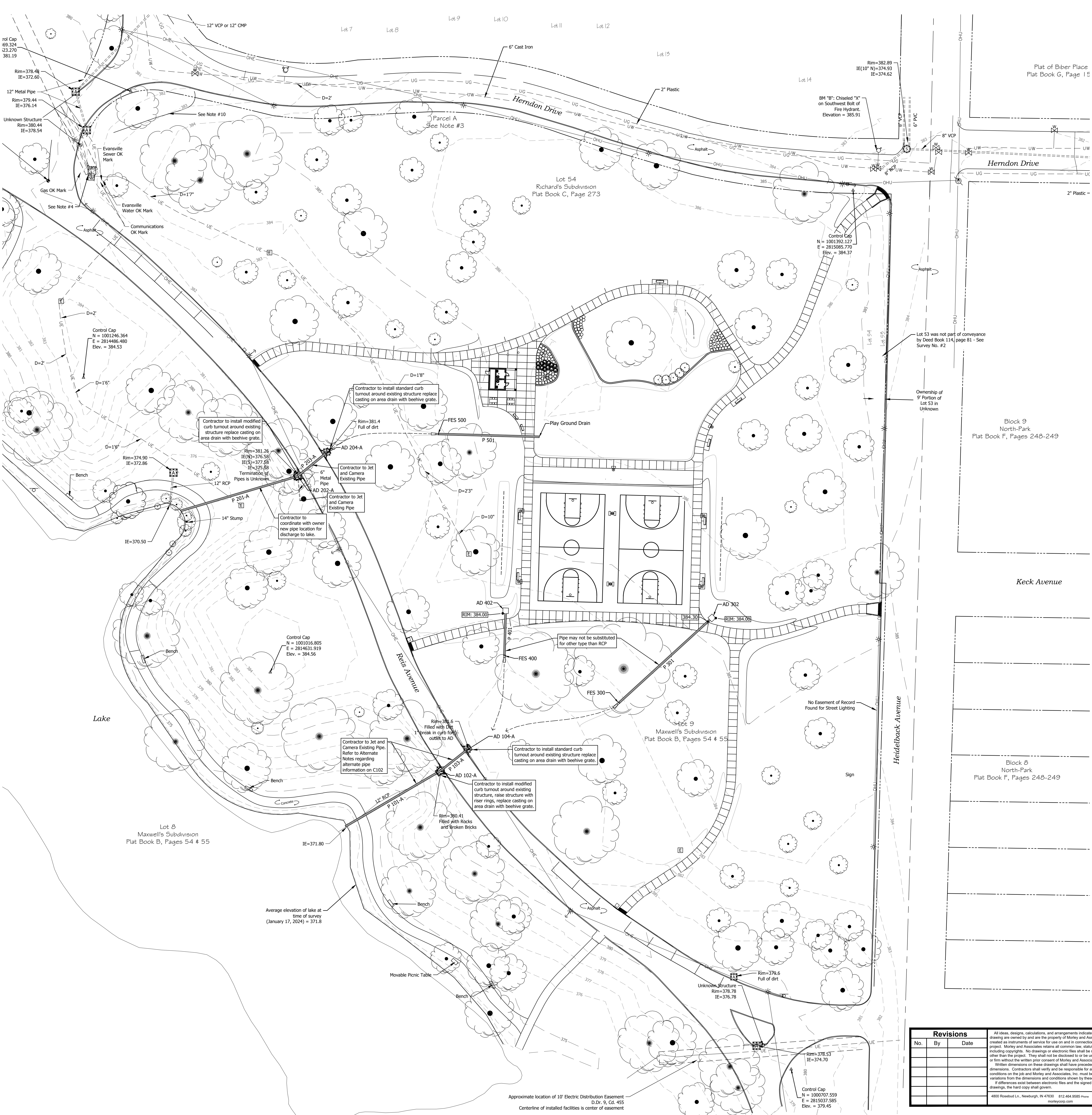
All ideas, designs, calculations, and arrangements indicated or represented by this drawing are owned by and are the property of Morley and Associates, Inc. and were created as instruments of service for use on and in connection with the specified project. Morley and Associates retains all common law, statutory law and other rights, including copyright. No drawings or electronic files shall be reused for any purpose other than the project. They shall not be disclosed to or be used by any other person or firm without the written prior consent of Morley and Associates, Inc.

Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and Morley and Associates, Inc. must be notified of any variations from the dimensions and conditions shown by these drawings. If differences exist between electronic files and the signed and sealed hard copy drawings, the hard copy shall govern.

4800 Roosevelt Ln., Newburgh, IN 47150 812.454.9505 morley.com 812.454.2514 fax morleycorp.com



Client: Hafer		Scale: 1" = 50'	
Project Title: Partial Retracement and Topographic Survey		Job Number: 12683.1.001A	
Garvin Park		Date: 2/12/2024	
Evansville, Indiana		12683 Civil Base	
		Sheet Number: C101	



Alternate Drainage Notes

1. Contractor to jet and camera existing pipes/structures as part of bid alternate number 2.
2. Contractor to verify existing pipes size, condition, and inverts.
3. Contractor is to coordinate with Owner/Engineer on size, condition, inverts of pipes to determine ability to reuse. If existing pipes are not able to meet the alternate pipes sized in the Pipe Data Table on C102, contractor to coordinate with Owner on replacement of existing pipes.
4. Contractor to coordinate with owner on location of discharge pipe from AD 202.
5. Pipes and Structures labeled with "A" will be covered by Change Order, subject to Unit Prices.

Storm Structure Data Table				
Name	Description	Pipes In	Pipes Out	AD / MH = Rim CI = FG
AD 102-A	Area Drain	P 103-A, 12" Reinforced Concrete Pipe Invert Elevation = 373.73	P 101-A, 12" Reinforced Concrete Pipe Invert Elevation = 373.73	381.16
AD 104-A	Area Drain		P 103-A, 12" Reinforced Concrete Pipe Invert Elevation = 374.17	381.60
AD 202-A	Existing Area Drain	P 203-A, 12" Reinforced Concrete Pipe Invert Elevation = 375.58	P 201-A, 12" Reinforced Concrete Pipe Invert Elevation = 375.58	381.26
AD 204-A	Existing Area Drain		P 203-A, 12" Reinforced Concrete Pipe Invert Elevation = 375.78	381.40
AD 302	Area Drain		P 301, 12" Reinforced Concrete Pipe Invert Elevation = 382.35	384.00
AD 402	Area Drain		P 401, 12" Reinforced Concrete Pipe Invert Elevation = 382.43	384.00
FES 300	Flared End Section	P 301, 12" Reinforced Concrete Pipe Invert Elevation = 382.10		--
FES 400	Flared End Section	P 401, 12" Reinforced Concrete Pipe Invert Elevation = 382.25		--
FES 500	Flared End Section	P 501, 12" Reinforced Concrete Pipe Invert Elevation = 383.25		--
Play Ground Drain	Fittings By Others		P 501, 12" Reinforced Concrete Pipe Invert Elevation = 383.65	--

Storm Pipe Data Table						
Pipe Name	Size and Type	Length	Slope	US IE	DS IE	Start Structure / End Structure
P 101-A	12" RCP	85.92'	2.25%	373.73	371.80	AD 102-A / Garvin Lake
P 103-A	12" RCP	24.99'	1.76%	374.17	373.73	AD 104-A / AD 102-A
P 201-A	12" RCP	95.05'	5.34%	375.58	370.50	AD 202-A / Garvin Lake
P 203-A	12" RCP	27.96'	0.72%	375.78	375.58	AD 204-A / AD 202-A
P 301	12" RCP	98.16'	0.25%	382.35	382.10	AD 302 / FES 300
P 401	12" RCP	35.01'	0.51%	382.43	382.25	AD 402 / FES 400
P 501	12" RCP	78.93'	0.51%	383.65	383.25	Play Ground Drain / FES 500

Revisions

No.	By	Date

All ideas, designs, calculations, and arrangements indicated or represented by this drawing are owned by and are the property of Morley and Associates, Inc. and were created as instruments of service for use on and in connection with the specified project. Morley and Associates retains all common law, statutory law and other rights, including copyright. No drawings or electronic files shall be reused for any purpose other than the project. They shall not be disclosed to or be used by any other person or firm without the written prior consent of Morley and Associates, Inc.

Within dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and Morley and Associates, Inc. must be notified of any variations from the dimensions and conditions shown by these drawings. If differences exist between electronic files and the signed and sealed hard copy drawings, the hard copy shall govern.

4800 Roosevelt Ln., Newburgh, IN 47630 812.464.9505 Fax: 812.464.2514 morleycorp.com

M

MORLEY

ARCHITECTS | ENGINEERS | SURVEYORS

Project:

Garvin Park Phase 2

Sheet Title:

Civil
Drainage Plan
45 Don Mattingly Way
Evansville, IN 47711

Scale: 1" = 30'

Designed By: JEM

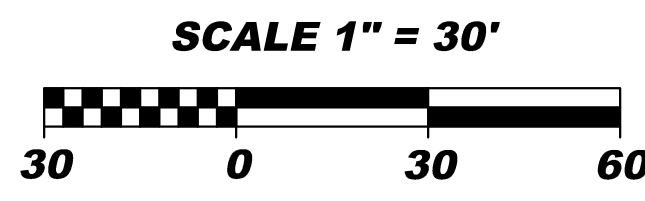
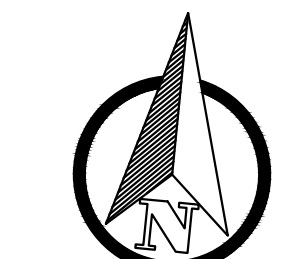
Job Number: 12683.1.002-A

Drawn By: WAF

Date: 05.02.2025

Filename: 12683 Civil Base

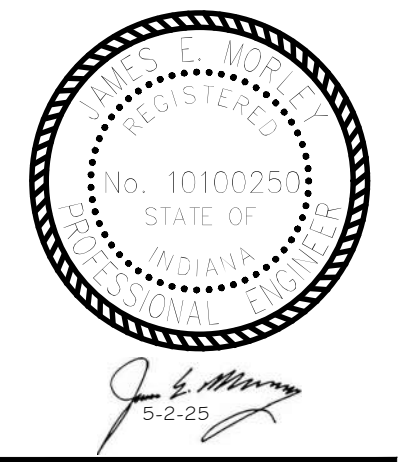
Sheet Number: C102



Proposed Legend	
	Sanitary Sewer Lateral
	Water Service Line
	Sanitary Sewer Cleanout

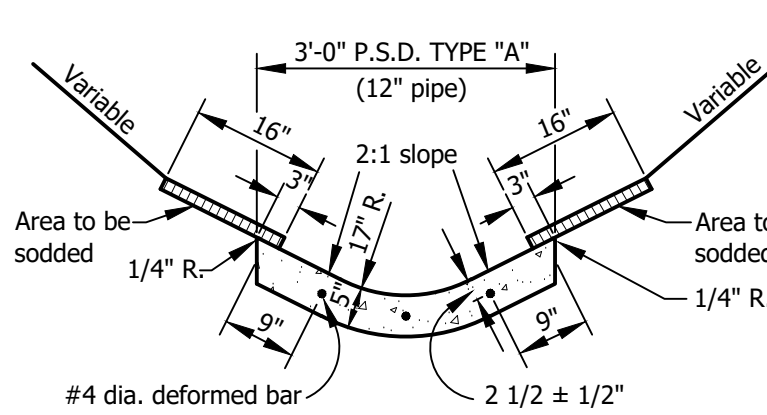
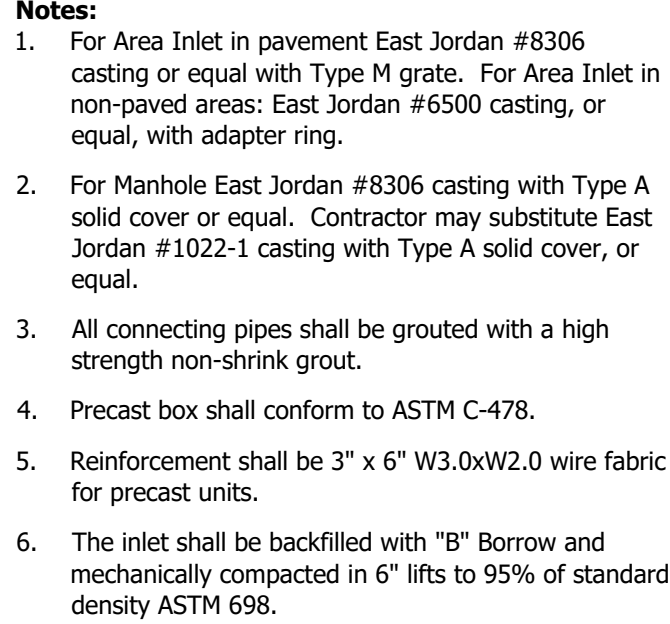
- EWSU Water Services - General Notes**
- Contractor shall comply with all local, state and federal codes, ordinances, rules, regulations, orders and other legal requirements of municipal authorities which bear on the performance of the work, which may not be recognized on the approved plan set.
 - The contractor is cautioned that the location and / or elevation of existing utilities, as shown on these plans, is based on records of various utility companies, and where possible measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must contact the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. Contractor shall locate existing utilities and establish elevations and clearances with proposed improvements prior to initiating construction. Indiana underground utility locate service (IUPPS) phone: 811.
 - Material specifications shall be in conformance with applicable portions of the IDEM standard specifications, (latest edition) unless specifically stated otherwise on these plans, contract documents, or EWSU Water and Sewer Manual.
 - All water service taps shall be witnessed by an EWSU inspector. The contractor is to provide a minimum of 48 hour notice (Inspector, 812-708-0502) before construction commences.
 - Minimum of 18 inch vertical and 10 feet horizontal clearance to be maintained between water lines and sewer lines.
 - Minimum separation between any water services shall be four feet, as measured from outside of pipe to outside of pipe.
 - Any required easement shall be recorded and provided prior to start of construction.
 - Taps shall be installed at the approved plan locations. Any desired location changes shall be approved by the EWSU utility inspector. Taps are not to be made within four feet of any other tap or fitting. No taps shall be made within two feet of any pipe joint.
 - No services to be installed within eight feet of any side property line. All service lines from main to property line valve or meter shall run perpendicular to the main. Deflections of service line shall only occur after the EWSU property line valve or meter.
 - For Gate Valve operating rules that are going to be deeper than five feet, Contractor shall provide stainless steel extensions.
 - Any water use for interior fire protection or irrigation purposes shall be identified to EWSU prior to implementation for verification of proper Backflow Prevention.
 - Owner/Developer/Applicant/Contractor shall secure permits from the City of Evansville Engineer's office (812-436-4973) for the work to be performed in the public road or alley right-of-way.
 - CALL BEFORE YOU DIG - BURIED LINE LOCATION - CALL 811

- EWSU Sanitary Sewer Tap/Connection - General Notes**
- Contractor shall comply with all local, state and federal codes, ordinances, rules, regulations, orders and other legal requirements of municipal authorities which bear on the performance of the work, which may not be recognized on the approved plan set.
 - The contractor is cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of various utility companies, and where possible measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must contact the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. Contractor shall locate existing utilities and establish elevations and clearances with proposed improvements prior to initiating construction. Indiana underground utility locate service (IUPPS) phone: 811.
 - Material specifications shall be in conformance with applicable portions of the IDEM standard specifications, (latest edition) unless specifically stated otherwise on these plans, contract documents, or EWSU water and sewer manual.
 - All sanitary sewer tapconnections shall be witnessed by an EWSU inspector. The contractor is to provide a minimum of 48 hour notice (Lin VIII, 812-355-7514) before construction commences.
 - Minimum of 18 inch vertical and 10 feet horizontal clearance to be maintained between water lines and sewer lines.
 - Minimum depth of cover for sanitary sewer laterals is 3 feet to top of pipe.
 - Any required easement shall be recorded and provided prior to start of construction.
 - Taps shall be installed at the approved plan locations. Any desired location changes shall be approved by the EWSU utility inspector. Taps not to be made within 6 feet of any other tap. No taps or laterals to be made within 3 feet of any property line. No taps or laterals to be made within 6 feet of any utility pole or component.
 - Bypass pumping and/or other methods may be necessary to complete the tapping of the existing sanitary sewers. The contractor is responsible for adhering to the Evansville Sewer Overflow Response Plan (SORP) as it has to do with sewer overflow responsibilities.

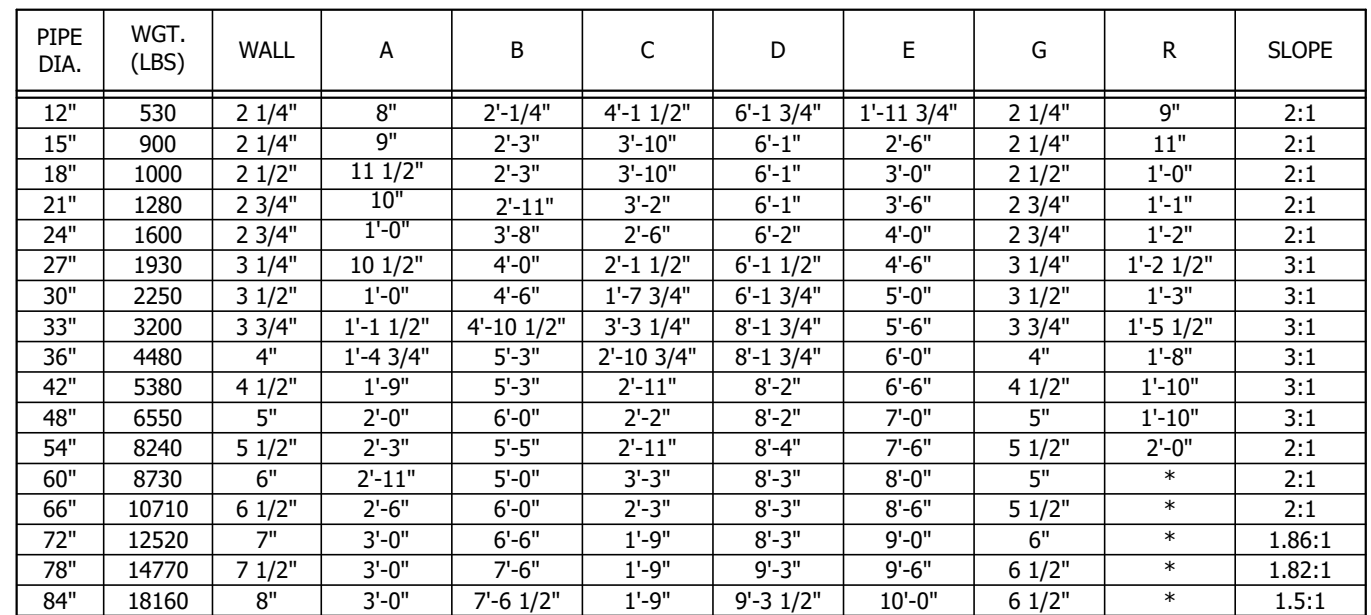
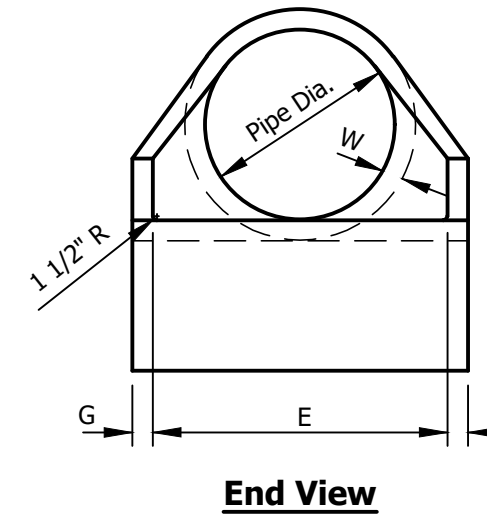


<table><tr><th colspan="3">Revisions</th></tr><tr><th>No.</th><th>By</th><th>Date</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	Revisions			No.	By	Date																												<div></div> <div>ARCHITECTS ENGINEERS SURVEYORS</div>	Project: Garvin Park Phase 2	
Revisions																																				
No.	By	Date																																		
Sheet Title: Civil Utility Plan 45 Don Mattingly Way Evansville, IN 47711		Scale: 1" = 30'																																		
Designed By: JEM Drawn By: WAF Filename: 12683 Civil Base Sheet Number: C103		Job Number: 12683.1.002-A Date: 05.02.2025																																		

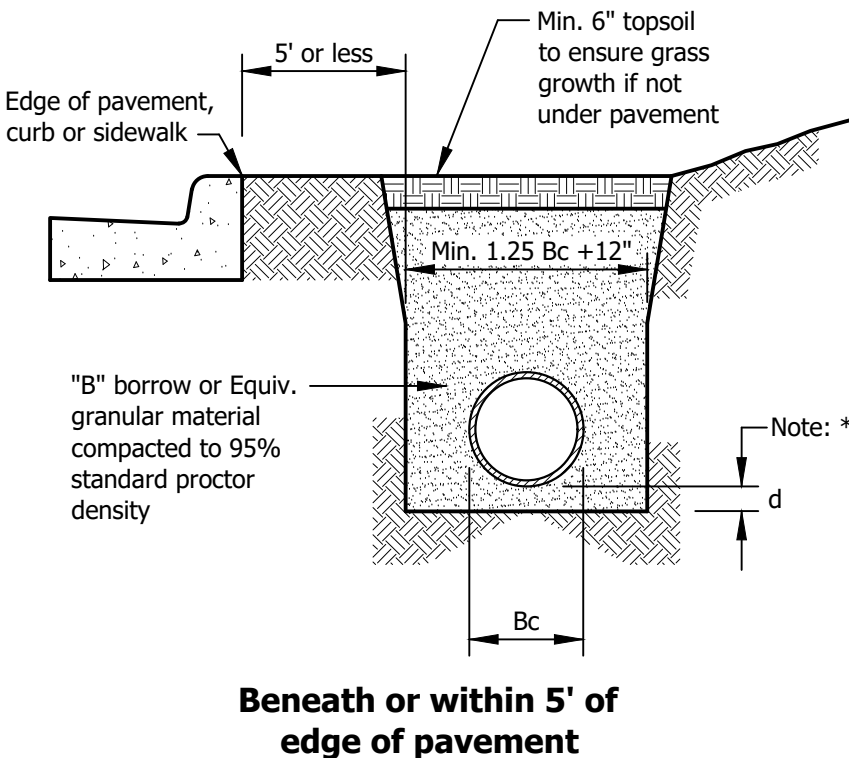
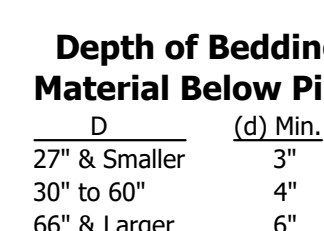
Approximate location of 10' Electric Distribution Easement
D.Dr. 9, Cd. 455
Centerline of installed facilities is center of easement



Modified Curb Turnout



Concrete End Section



Reinforced Concrete Pipe Storm Sewer Bedding

GARVIN PARK ACTIVITY
ZONE



GARVIN PARK
45 DON MATTINGLY WAY,
EVANSVILLE, IN 47711

HAFFER
architects • designers • engineers

21 SE Third Street,
Suite 800
Evansville, IN 47708
T: 812.422.4187
F: 812.421.6776
www.hafferdesign.com

REFERENCE NOTES:

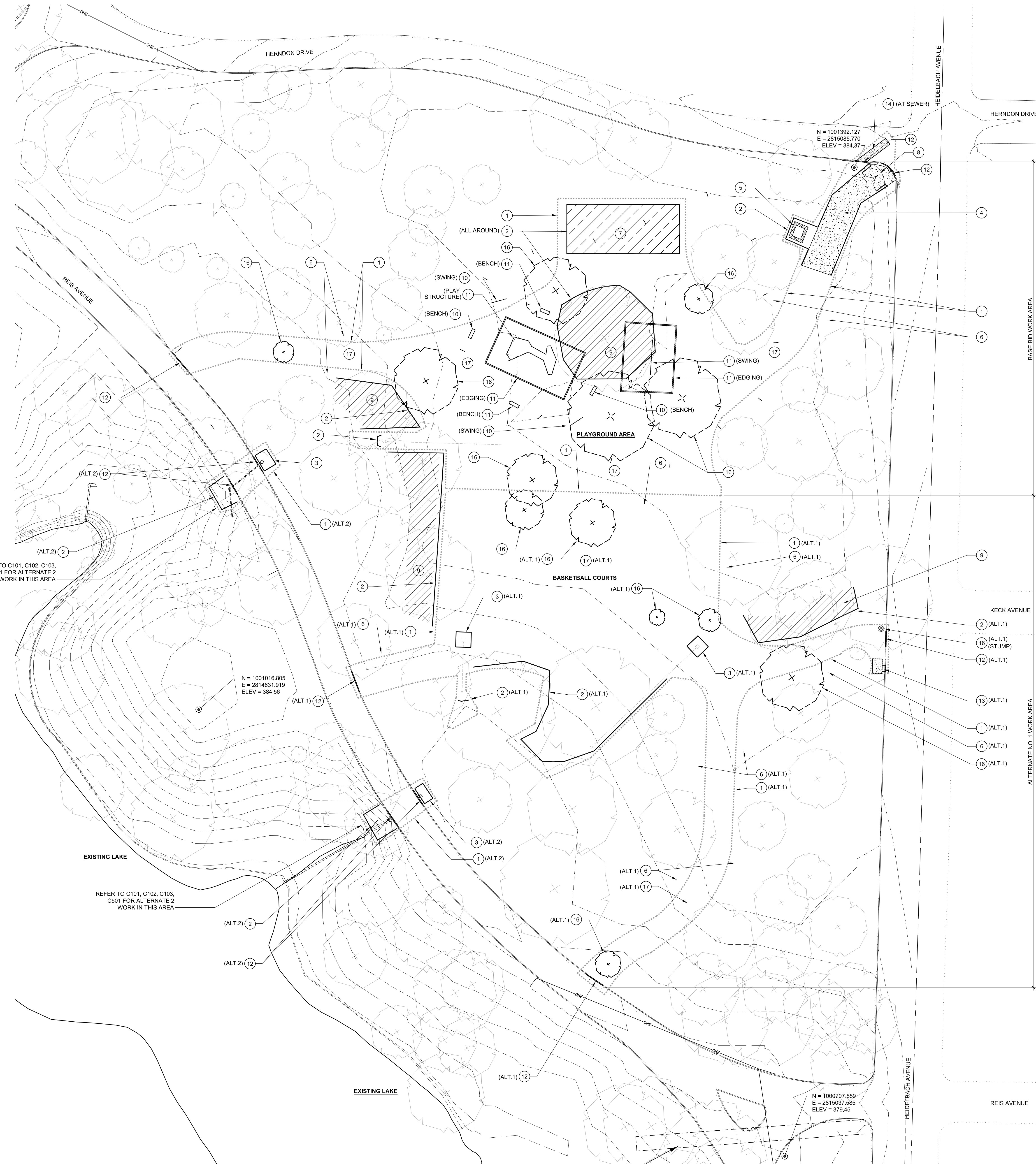
- 1 CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
- 2 SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
- 3 STORM DRAIN INLET PROTECTION. REFER TO 5/EC2.1.
- 4 CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
- 5 TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
- 6 VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
- 7 SOIL STOCKPILE AREA.
- 8 SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
- 9 TREE PROTECTION ZONE.
- 10 REMOVE SITE FEATURE.
- 11 REMOVE AND SALVAGE SITE FEATURE.
- 12 REMOVE CONCRETE CURB.
- 13 REMOVE CONCRETE PAVEMENT.
- 14 REMOVE ASPHALT PAVEMENT.
- 15 EXISTING WALK OR PAVEMENT TO REMAIN.
- 16 REMOVE TREE.
- 17 REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
- 18 ASPHALT PAVEMENT.
- 19 CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1A/L2.1, 4/L2.1.
- 20 CONCRETE PAVEMENT, T=5", REFER TO DETAIL 1A/L2.1.
- 21 ACCESSIBLE CURB RAMP, REFER TO 6A/L2.1.
- 22 ATHLETIC SURFACING AND STRIPING.
- 23 BASKETBALL GOAL, REFER TO 10A/L2.1.
- 24 EXPANSION JOINT, REFER TO 2A/L2.1, 3A/L2.1.
- 25 CONCRETE CURB, 6"x18", REFER TO 7/L2.1.
- 26 CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
- 27 THICKENED SLAB EDGE, REFER TO 11A/L2.1.
- 28 NEW STORM DRAINAGE FEATURES, REFER TO C102.
- 29 CONCRETE CURB, 10"x18", REFER TO 9A/L2.1.
- 30 SITE FURNITURE - NOT IN CONTRACT.
- 31 BACKFILL WITH PLANTING SOIL.
- 32 STONE EDGING REFER TO 15/L2.1.
- 33 RESTORE LAWN AREA, SEED AND MULCH.
- 34 EROSION CONTROL FIBER MESH.
- 35 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP, EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

GENERAL DEMOLITION NOTES:

1. FIELD VERIFY ALL EXISTING CONDITIONS AND THE EXTENT OF DEMOLITION WORK REQUIRED.
2. NOTIFY ARCHITECT IMMEDIATELY IF EXISTING SITE CONDITIONS INCONSISTENT WITH THESE DRAWINGS ARE ENCOUNTERED THAT WOULD REQUIRE ALTERATION OF DESIGNED FEATURES.
3. THE SIZES AND LOCATIONS OF EXISTING FEATURES INDICATED ON THIS DRAWING ARE APPROXIMATE. THE CONTRACTOR SHALL TAKE INTO ACCOUNT IN PREPARING HIS BID THAT VARIATIONS IN EXISTING FEATURES ENCOUNTERED IN THE FIELD WILL OCCUR.
4. REMOVE ALL MATERIALS IN THE WAY OF NEW CONSTRUCTION WHETHER OR NOT SPECIFICALLY INDICATED ON THESE DRAWINGS.
5. PROTECT ALL BENCHMARKS, SURVEY MONUMENTS AND RELATED FEATURES FROM DAMAGE OR DISPLACEMENT DURING DEMOLITION AND CONSTRUCTION. IF ANY SUCH FEATURES ARE DISTURBED, CONTRACTOR SHALL BEAR THE COST OF REPLACEMENT BY A LICENSED SURVEYOR, SUBJECT TO THE APPROVAL OF THE ARCHITECT.
6. CONTACT ALL UTILITY COMPANIES AND PROVIDE LOCATOR SERVICES TO VERIFY LOCATIONS OF UNDERGROUND UTILITIES.
7. REMOVE ALL BELOW GRADE PLUMBING LINES WITHIN THE DEMOLITION AREA BOUNDARY SERVING THE EXISTING RESTROOM BUILDING THAT IS TO BE DEMOLISHED. DO NOT DISTURB STORMS DRAINS AND PIPES THAT ARE TO REMAIN. PERMANENTLY CAP AND SEAL UTILITY LINES THAT ARE ABANDONED IN PLACE. REMOVE WATER METER AND CAP LINES IN THE METER PIT. BACKFILL METER PIT AND COORDINATE METER REMOVAL WITH E.W.S.U.
8. DEMOLITION OF EXISTING UTILITIES SHALL BE MADE SO THAT DISRUPTION OF SERVICE IS MINIMIZED. PROVIDE TEMPORARY UTILITIES, ISOLATION VALVES, DISCONNECTS, ETC. WHERE REQUIRED DURING DEMOLITION AND CONSTRUCTION.
9. PROTECT EXISTING PAVEMENT TO REMAIN AND MAINTAIN TRAFFIC DURING DEMOLITION. COORDINATE WORK IN THE RIGHT OF WAY WITH THE OWNER AND APPROPRIATE GOVERNMENTAL AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.
10. REMOVE PAVEMENT OR CURBS WHERE NOTED AND WHERE NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. SAW CUT EDGES AND REMOVE LOOSE MATERIAL TO FORM A CLEAN EDGE FOR NEW WALKS, PAVEMENTS AND CURBS. REPLACE PAVEMENTS AND CURBS DAMAGED BY CONSTRUCTION THAT ARE INDICATED TO REMAIN.
11. ADJUST ALL EXISTING UTILITY STRUCTURES, THAT ARE TO REMAIN TO NEW ELEVATIONS OF ADJACENT GRADES WHETHER OR NOT INDICATED ON THESE DRAWINGS.
12. REMOVE ALL UNDERGROUND OBSTRUCTIONS DOWN TO 24" MINIMUM BELOW NEW GRADE, OR DEEPER AS REQUIRED FOR NEW CONSTRUCTION.
13. THE PARK WILL BE OPEN AND USED BY THE PUBLIC DURING CONSTRUCTION AND DEMOLITION. PROVIDE BARRICADES, WARNING SIGNS, TEMPORARY FENCING, GATES AND ALL OTHER NECESSARY FEATURES REQUIRED TO SECURE THE CONSTRUCTION AREA AND ENSURE PUBLIC SAFETY.
14. REMOVE AND DISPOSE OF ALL TRASH, LITTER AND MISCELLANEOUS MATERIALS AT THE RESTROOM BUILDING SITE AND LEAVE THE AREA IN A CLEAN AND NATURAL CONDITION.
15. REFER TO THE LANDSCAPE PLAN FOR REQUIREMENTS RELATED TO FINISH GRADING, TREE PROTECTION AND LAWN RESTORATION WHICH SHALL APPLY TO ALL AREAS AFFECTED BY DEMOLITION WORK.

EROSION CONTROL NOTES:

1. MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE SITE, AND COMPLY WITH THE REQUIREMENTS OF THE PLAN AT ALL TIMES FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUBSTANTIAL COMPLETION.
2. DO NOT COMMENCE EARTH MOVING ACTIVITIES UNTIL 48 HOURS AFTER IDEM NOTICE OF INTENT HAS BEEN MAILED, AS DIRECTED BY ARCHITECT.
3. PROVIDE SHEET FLOW SEDIMENT CONTROL MEASURES AT THE PERIMETER OF ALL SOIL STOCKPILE AREAS ON AND OFF SITE.
4. INSTALL EROSION CONTROL FEATURES IN CONFORMANCE WITH THE IDEM STORM WATER QUALITY MANUAL, LATEST EDITION, AT ALL LOCATIONS REQUIRED TO PREVENT POLLUTION OF STORMWATER FROM CONSTRUCTION OPERATIONS, WHETHER OR NOT INDICATED ON THIS PLAN.
5. PREPARE A SPILL PREVENTION AND REMEDIATION PLAN, SUBMIT THE PLAN TO THE OWNER FOR APPROVAL, AND MAINTAIN A COPY AT THE SITE AT ALL TIMES. REMOVE SOILS AND OTHER MATERIALS CONTAMINATED BY SPILLS IMMEDIATELY AND IN CONFORMANCE WITH THE PLAN.
6. IMMEDIATELY REPAIR VEHICLES, MATERIAL STORAGE CONTAINERS, PORTABLE RESTROOMS OR ANY OTHER EQUIPMENT THAT IS LEAKING.
7. DURING PERIODS OF DRY WEATHER, SPRAY DISTURBED GROUND WITH WATER AS FREQUENTLY AS NEEDED TO PREVENT WINDBORNE DUST.
8. GRADE RUTTED AND MUDDY AREAS TO PREVENT STANDING WATER, AND INSTALL TEMPORARY ROCK IN AREAS WHERE CONSTRUCTION TRAFFIC CAUSES SIGNIFICANT SOIL DISTURBANCE.
9. LOCATE TRASH BARRELS LIBERALLY AROUND THE SITE. REMOVE AND DISPOSE OF LITTER AND CONSTRUCTION DEBRIS WITHIN THE CONSTRUCTION AREA BOUNDARY ON A WEEKLY BASIS AT A MINIMUM. REMOVE ALL CONSTRUCTION LITTER AND DEBRIS THAT IS SCATTERED BEYOND THE PERIMETER SECURITY FENCE ON A DAILY BASIS.
10. SWEEP ADJACENT ROADS TO REMOVE MUD FROM CONSTRUCTION OPERATIONS ON A WEEKLY BASIS. DO NOT CLEAN ROADS BY SPRAYING WITH WATER.
11. SWPPP COMPLIANCE SHALL BE DISCUSSED AS AN AGENDA ITEM AT ALL REGULARLY SCHEDULED PROGRESS MEETINGS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE SWPPP AND SHALL INSPECT THE SITE ON A WEEKLY BASIS FOR DEFICIENCIES. THE CONTRACTOR SHALL PROVIDE WRITTEN REPORTS IN A STANDARD FORMAT FOR ALL WEEKLY INSPECTIONS AND SHALL SUBMIT THESE REPORTS TO THE OWNER AND ARCHITECT.
13. REPAIR EXISTING AND INSTALL ADDITIONAL SWPPP FEATURES AS DIRECTED BY THE OWNER AND ARCHITECT IF INSTALLED FEATURES PROVE TO BE INADEQUATE, DETERIORATE, OR OTHERWISE BECOME INEFFECTIVE. ADDITIONAL FEATURES MAY BE REQUIRED BY GOVERNMENTAL AUTHORITIES. PROVIDE ALL ADDITIONAL FEATURES AS DIRECTED BY GOVERNMENTAL AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER.
14. LINE SWALES AND COVER SLOPES EXCEEDING 6% WITH BIODEGRADABLE EROSION CONTROL FABRIC IN ALL LOCATIONS SUBJECT TO WASHOUT, WHETHER INDICATED ON THESE PLANS OR NOT. INSTALL TEMPORARY OR PERMANENT LAWN SEED IN SWALES AND ON SLOPES IMMEDIATELY AFTER EARTHWORK IS COMPLETE.
15. PROVIDE SILT FENCE, COMPOST FILTER SOCKS OR ROCK DAMS FOR EROSION CONTROL PROTECTION AT ALL STORM DRAIN CULVERT OUTLETS.

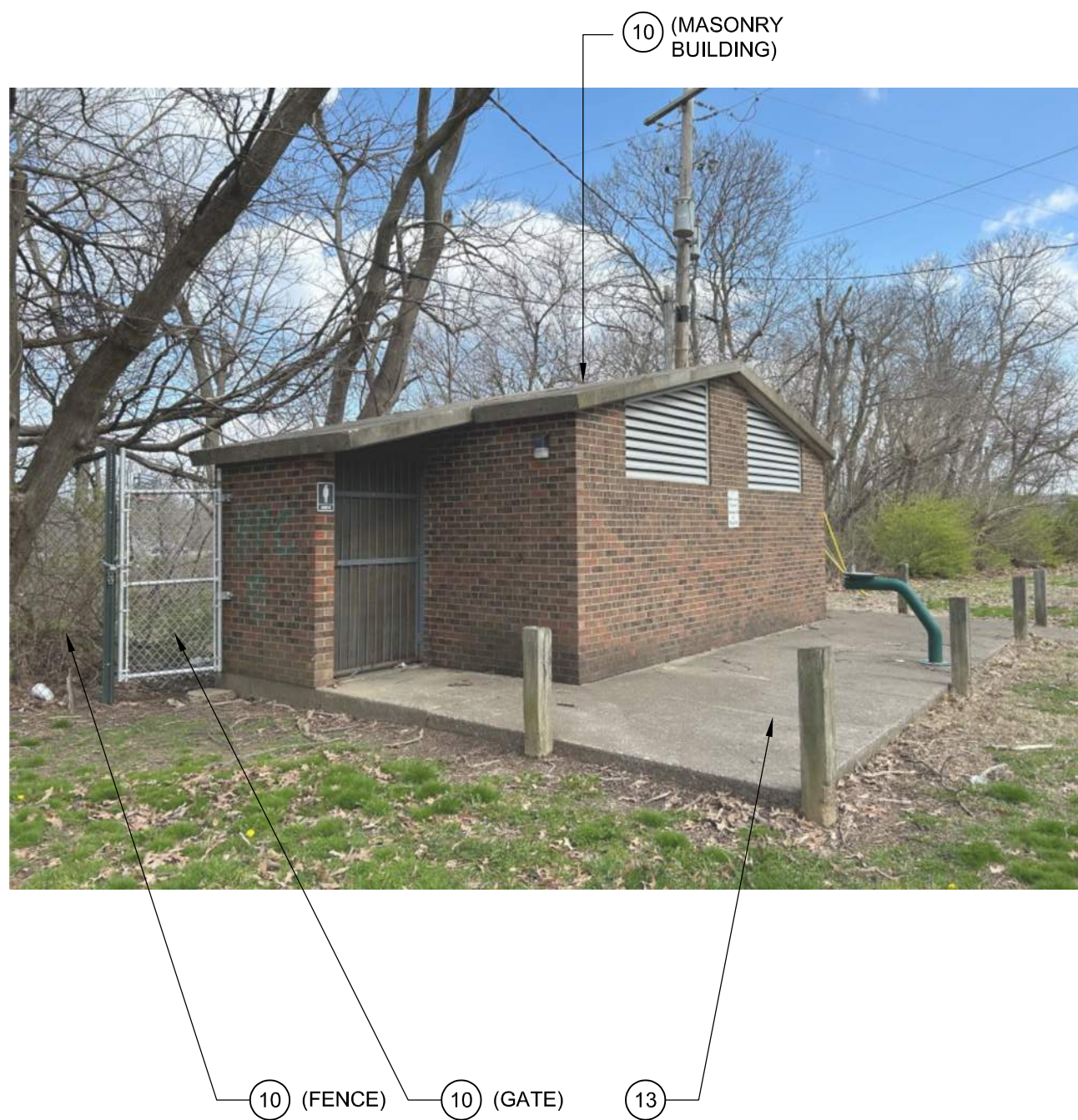
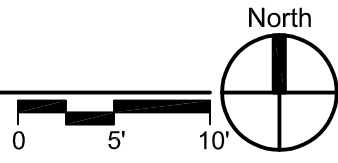


DEMOLITION AND EROSION CONTROL PLAN
1" = 30'-0"

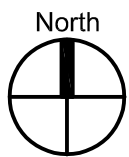
EC1.1



DEMOLITION PLAN - RESTROOM BUILDING
1" = 10'-0"



WEST ELEVATION
NO SCALE



SOUTH ELEVATION
NO SCALE



EAST ELEVATION
NO SCALE



EROSION CONTROL NOTES:

1. MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE SITE, AND COMPLY WITH THE REQUIREMENTS OF THE PLAN AT ALL TIMES FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUBSTANTIAL COMPLETION.
2. DO NOT COMMENCE EARTH MOVING ACTIVITIES UNTIL 48 HOURS AFTER IDEM NOTICE OF INTENT HAS BEEN MAILED, AS DIRECTED BY ARCHITECT.
3. PROVIDE SHEET FLOW SEDIMENT CONTROL MEASURES AT THE PERIMETER OF ALL SOIL STOCKPILE AREAS ON AND OFF SITE.
4. INSTALL EROSION CONTROL FEATURES IN CONFORMANCE WITH THE IDEM STORM WATER QUALITY MANUAL, LATEST EDITION, AT ALL LOCATIONS REQUIRED TO PREVENT POLLUTION OF STORMWATER FROM CONSTRUCTION OPERATIONS, WHETHER OR NOT INDICATED ON THIS PLAN.
5. PREPARE A SPILL PREVENTION AND REMEDIATION PLAN, SUBMIT THE PLAN TO THE OWNER FOR APPROVAL, AND MAINTAIN A COPY AT THE SITE AT ALL TIMES. REMOVE SOILS AND OTHER MATERIALS CONTAMINATED BY SPILLS IMMEDIATELY AND IN CONFORMANCE WITH THE PLAN.
6. IMMEDIATELY REPAIR VEHICLES, MATERIAL STORAGE CONTAINERS, PORTABLE RESTROOMS OR ANY OTHER EQUIPMENT THAT IS LEAKING.
7. DURING PERIODS OF DRY WEATHER, SPRAY DISTURBED GROUND WITH WATER AS FREQUENTLY AS NEEDED TO PREVENT WINDBORNE DUST.
8. GRADE RUTTED AND MUDDY AREAS TO PREVENT STANDING WATER, AND INSTALL TEMPORARY ROCK IN AREAS WHERE CONSTRUCTION TRAFFIC CAUSES SIGNIFICANT SOIL DISTURBANCE.
9. LOCATE TRASH BARRELS LIBERALLY AROUND THE SITE, REMOVE AND DISPOSE OF LITTER AND CONSTRUCTION DEBRIS WITHIN THE CONSTRUCTION AREA BOUNDARY ON A WEEKLY BASIS AT A MINIMUM. REMOVE ALL CONSTRUCTION LITTER AND DEBRIS THAT IS SCATTERED BEYOND THE PERIMETER SECURITY FENCE ON A DAILY BASIS.
10. SWEEP ADJACENT ROADS TO REMOVE MUD FROM CONSTRUCTION OPERATIONS ON A WEEKLY BASIS. DO NOT CLEAN ROADS BY SPRAYING WITH WATER.
11. SWPPP COMPLIANCE SHALL BE DISCUSSED AS AN AGENDA ITEM AT ALL REGULARLY SCHEDULED PROGRESS MEETINGS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE SWPPP AND SHALL INSPECT THE SITE ON A WEEKLY BASIS FOR DEFICIENCIES. THE CONTRACTOR SHALL PROVIDE WRITTEN REPORTS IN A STANDARD FORMAT FOR ALL WEEKLY INSPECTIONS AND SHALL SUBMIT THESE REPORTS TO THE OWNER AND ARCHITECT.
13. REPAIR EXISTING AND INSTALL ADDITIONAL SWPPP FEATURES AS DIRECTED BY THE OWNER AND ARCHITECT IF INSTALLED FEATURES PROVE TO BE INADEQUATE, DETERIORATE, OR OTHERWISE BECOME INEFFECTIVE. ADDITIONAL FEATURES MAY BE REQUIRED BY GOVERNMENTAL AUTHORITIES. PROVIDE ALL ADDITIONAL FEATURES AS DIRECTED BY GOVERNMENTAL AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER.
14. LINE SWALES AND COVER SLOPES EXCEEDING 6% WITH BIODEGRADABLE EROSION CONTROL FABRIC IN ALL LOCATIONS SUBJECT TO WASHOUT, WHETHER INDICATED ON THESE PLANS OR NOT, INSTALL TEMPORARY OR PERMANENT LAWN SEED IN SWALES AND ON SLOPES IMMEDIATELY AFTER EARTHWORK IS COMPLETE.
15. PROVIDE SILT FENCE, COMPOST FILTER SOCKS OR ROCK DAMS FOR EROSION CONTROL PROTECTION AT ALL STORM DRAIN CULVERT OUTLETS.

REFERENCE NOTES:

- 1 CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
- 2 SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
- 3 STORM DRAIN INLET PROTECTION, REFER TO 5/EC2.1.
- 4 CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
- 5 TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
- 6 VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
- 7 SOIL STOCKPILE AREA.
- 8 SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
- 9 TREE PROTECTION ZONE.
- 10 REMOVE SITE FEATURE.
- 11 REMOVE AND SALVAGE SITE FEATURE.
- 12 REMOVE CONCRETE CURB.
- 13 REMOVE CONCRETE PAVEMENT.
- 14 REMOVE ASPHALT PAVEMENT.
- 15 EXISTING WALK OR PAVEMENT TO REMAIN.
- 16 REMOVE TREE.
- 17 REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
- 18 ASPHALT PAVEMENT.
- 19 CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1/L2.1, 4/L2.1.
- 20 CONCRETE PAVEMENT, T=6", REFER TO DETAIL 1/L2.1.
- 21 ACCESSIBLE CURB RAMP, REFER TO 6/L2.1.
- 22 ATHLETIC SURFACING AND STRIPING.
- 23 BASKETBALL GOAL, REFER TO 10/L2.1.
- 24 EXPANSION JOINT, REFER TO 2/L2.1, 3/L2.1.
- 25 CONCRETE CURB, 6"x18", REFER TO 7/L2.1.
- 26 CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
- 27 THICKENED SLAB EDGE, REFER TO 11/L2.1.
- 28 NEW STORM DRAINAGE FEATURES, REFER TO C102.
- 29 CONCRETE CURB, 10"x18", REFER TO 9/L2.1.
- 30 SITE FURNITURE - NOT IN CONTRACT.
- 31 BACKFILL WITH PLANTING SOIL.
- 32 STONE EDGING REFER TO 15/L2.1.
- 33 RESTORE LAWN AREA, SEED AND MULCH.
- 34 EROSION CONTROL FIBER MESH.
- 35 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP, EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

GENERAL DEMOLITION NOTES:

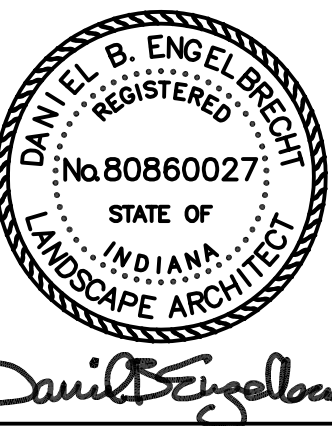
1. FIELD VERIFY ALL EXISTING CONDITIONS AND THE EXTENT OF DEMOLITION WORK REQUIRED.
2. NOTIFY ARCHITECT IMMEDIATELY IF EXISTING SITE CONDITIONS INCONSISTENT WITH THESE DRAWINGS ARE ENCOUNTERED THAT WOULD REQUIRE ALTERATION OF DESIGNED FEATURES.
3. THE SIZES AND LOCATIONS OF EXISTING FEATURES INDICATED ON THIS DRAWING ARE APPROXIMATE. THE CONTRACTOR SHALL TAKE INTO ACCOUNT IN PREPARING HIS BID THAT VARIATIONS IN EXISTING FEATURES ENCOUNTERED IN THE FIELD WILL OCCUR.
4. REMOVE ALL MATERIALS IN THE WAY OF NEW CONSTRUCTION WHETHER OR NOT SPECIFICALLY INDICATED ON THESE DRAWINGS.
5. PROTECT ALL BENCHMARKS, SURVEY MONUMENTS AND RELATED FEATURES FROM DAMAGE OR DISPLACEMENT DURING DEMOLITION AND CONSTRUCTION. IF ANY SUCH FEATURES ARE DISTURBED, CONTRACTOR SHALL BEAR THE COST OF REPLACEMENT BY A LICENSED SURVEYOR, SUBJECT TO THE APPROVAL OF THE ARCHITECT.
6. CONTACT ALL UTILITY COMPANIES AND PROVIDE LOCATOR SERVICES TO VERIFY LOCATIONS OF UNDERGROUND UTILITIES.
7. REMOVE ALL BELOW GRADE PLUMBING LINES WITHIN THE DEMOLITION AREA BOUNDARY SERVING THE EXISTING RESTROOM BUILDING THAT IS TO BE DEMOLISHED. DO NOT DISTURB STORMS DRAINS AND PIPES THAT ARE TO REMAIN. PERMANENTLY CAP AND SEAL UTILITY LINES THAT ARE ABANDONED IN PLACE. REMOVE WATER METER AND CAP LINES IN THE METER PIT. BACKFILL METER PIT AND COORDINATE METER REMOVAL WITH E.W.S.U.
8. DEMOLITION OF EXISTING UTILITIES SHALL BE MADE SO THAT DISRUPTION OF SERVICE IS MINIMIZED. PROVIDE TEMPORARY UTILITIES, ISOLATION VALVES, DISCONNECTS, ETC. WHERE REQUIRED DURING DEMOLITION AND CONSTRUCTION.
9. PROTECT EXISTING PAVEMENT TO REMAIN AND MAINTAIN TRAFFIC DURING DEMOLITION. COORDINATE WORK IN THE RIGHT OF WAY WITH THE OWNER AND APPROPRIATE GOVERNMENTAL AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.
10. REMOVE PAVEMENT OR CURBS WHERE NOTED AND WHERE NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. SAW CUT EDGES AND REMOVE LOOSE MATERIAL TO FORM A CLEAN EDGE FOR NEW WALKS, PAVEMENTS AND CURBS. REPLACE PAVEMENTS AND CURBS DAMAGED BY CONSTRUCTION THAT ARE INDICATED TO REMAIN.
11. ADJUST ALL EXISTING UTILITY STRUCTURES, THAT ARE TO REMAIN TO NEW ELEVATIONS OF ADJACENT GRADES WHETHER OR NOT INDICATED ON THESE DRAWINGS.
12. REMOVE ALL UNDERGROUND OBSTRUCTIONS DOWN TO 24" MINIMUM BELOW NEW GRADE, OR DEEPER AS REQUIRED FOR NEW CONSTRUCTION.
13. THE PARK WILL BE OPEN AND USED BY THE PUBLIC DURING CONSTRUCTION AND DEMOLITION. PROVIDE BARRICADES, WARNING SIGNS, TEMPORARY FENCING, GATES AND ALL OTHER NECESSARY FEATURES REQUIRED TO SECURE THE CONSTRUCTION AREA AND ENSURE PUBLIC SAFETY.
14. REMOVE AND DISPOSE OF ALL TRASH, LITTER AND MISCELLANEOUS MATERIALS AT THE RESTROOM BUILDING SITE AND LEAVE THE AREA IN A CLEAN AND NATURAL CONDITION.
15. REFER TO THE LANDSCAPE PLAN FOR REQUIREMENTS RELATED TO FINISH GRADING, TREE PROTECTION AND LAWN RESTORATION WHICH SHALL APPLY TO ALL AREAS AFFECTED BY DEMOLITION WORK.

GARVIN PARK ACTIVITY ZONE



GARVIN PARK
45 DON MATTINGLY WAY,
EVANSVILLE, IN 47711

HAFER
architects • designers • engineers
21 SE Third Street,
Suite 800
Evansville, IN 47708
T: 812.422.4187
F: 812.421.6776
www.hafersdesign.com



Revisions:

Designed By: D.E.	Drawn By: R.H.	Checked By: D.E.
----------------------	-------------------	---------------------

The drawings, specifications and other documents, including those in electronic form, prepared by Hafer for this project are Instruments of Service, and may be used solely with respect to this project. The documents may not be reproduced or modified by a third party without first obtaining the express written consent of Hafer. Authorized use of electronic media or file does not guarantee that these files contain complete and accurate information. In order to insure the accuracy of the information contained and that no changes or modifications have been made, these files must be compared to the project's contract documents with stamped and sealed certification and applicable approved modifications.

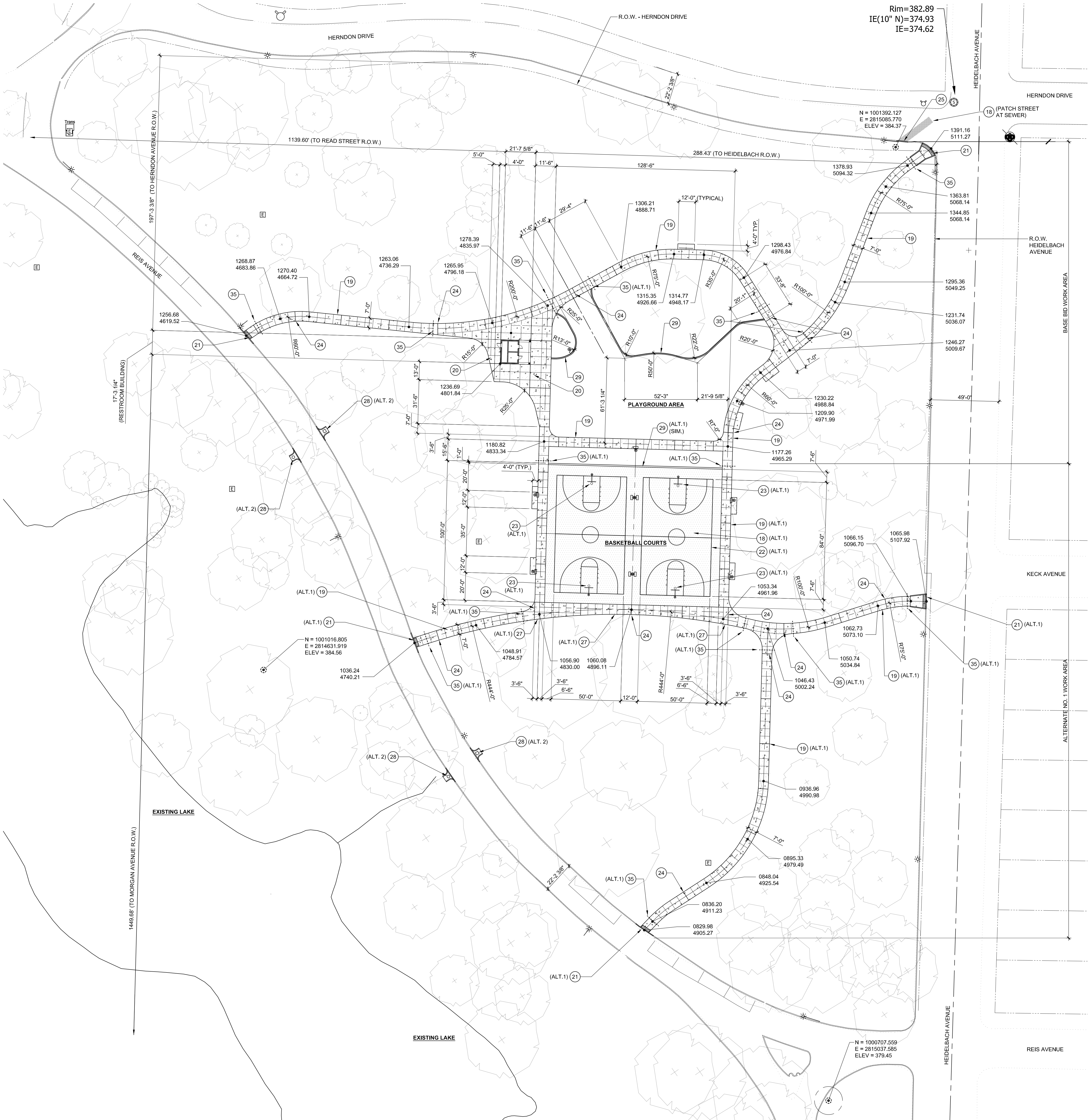
Sheet Title:

**DEMOLITION PLAN -
RESTROOM BUILDING**

Architect's Project No. Date:
2402-146 MAY, 2025

Drawing No:

EC1.2



CONSTRUCTION SCHEDULE:

CONSTRUCTION OF WALKS, CURBS, GRADING AND RELATED WORK IN THE BASE BID AREA IN THE VICINITY OF THE NEW PLAYGROUND, SHALL BE SUBSTANTIALLY COMPLETE BEFORE SEPTEMBER 1, 2025. NEW PLAYGROUND EQUIPMENT WILL BE INSTALLED UNDER SEPARATE CONTRACT ON THAT DATE. CONTRACTOR SHALL COORDINATE WITH THE PLAYGROUND EQUIPMENT INSTALLER TO EXPEDITE THE COMPLETION OF THE PLAYGROUND EQUIPMENT WORK AND TO PROTECT INSTALLED WORK OF THE GENERAL CONTRACT. ONCE PLAYGROUND EQUIPMENT INSTALLATION IS COMPLETE, THE CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES AS NECESSARY TO PROTECT THE PLAYGROUND EQUIPMENT FROM DAMAGE CAUSED BY ONGOING CONSTRUCTION WORK UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT.

- REFERENCE NOTES:**
- CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
 - SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
 - STORM DRAIN INLET PROTECTION, REFER TO 5/EC2.1.
 - CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
 - TEMPORARY CONCRETE WASHOUT BASIN, REFER TO 3/EC2.1.
 - VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
 - SOIL STOCKPILE AREA.
 - SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
 - TREE PROTECTION ZONE.
 - REMOVE SITE FEATURE.
 - REMOVE AND SALVAGE SITE FEATURE.
 - REMOVE CONCRETE CURB.
 - REMOVE CONCRETE PAVEMENT.
 - REMOVE ASPHALT PAVEMENT.
 - EXISTING WALK OR PAVEMENT TO REMAIN.
 - REMOVE TREE.
 - REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
 - ASPHALT PAVEMENT.
 - CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1/L2.1, 4/L2.1.
 - CONCRETE PAVEMENT, T=5", REFER TO DETAIL 1/L2.1.
 - ACCESSIBLE CURB RAMP, REFER TO 6/L2.1.
 - ATHLETIC SURFACING AND STRIPING.
 - BASKETBALL GOAL, REFER TO 10/L2.1.
 - EXPANSION JOINT, REFER TO 2/L2.1, 3/L2.1.
 - CONCRETE CURB, 6"x18", REFER TO 7/L2.1.
 - CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
 - THICKENED SLAB EDGE, REFER TO 11/L2.1.
 - NEW STORM DRAINAGE FEATURES, REFER TO C102.
 - CONCRETE CURB, 10"x18", REFER TO 9/L2.1.
 - SITE FURNITURE - NOT IN CONTRACT.
 - BACKFILL WITH PLANTING SOIL.
 - STONE EDGING REFER TO 15/L2.1.
 - RESTORE LAWN AREA, SEED AND MULCH.
 - EROSION CONTROL FIBER MESH.
 - 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP, EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

- GENERAL HARDSCAPE NOTES:**
- FIELD VERIFY ALL EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED FOR THE NEW CONSTRUCTION SHOWN.
 - CONTACT UTILITY COMPANIES TO VERIFY LOCATIONS OF ALL UTILITIES ABOVE AND BELOW GROUND. EXISTING UTILITIES SHALL BE LOCATED AND PROTECTED UNLESS NOTED TO BE REMOVED OR ABANDONED.
 - PROTECT EXISTING PAVEMENT TO REMAIN AND MAINTAIN TRAFFIC DURING CONSTRUCTION.
 - REPLACE ALL DRIVES, WALKS, CURBS, STREET PAVEMENT, ETC. DAMAGED DURING CONSTRUCTION, AND MATCH EXISTING MATERIALS AS MINIMUM.
 - PROVIDE EXPANSION AND CONTROL JOINTS IN WALKS AND CURBS AT 30'-0" O.C. JOINTS IN SIDEWALKS SHALL CONTINUE ACROSS AND DOWN THE FACE OF CURBS.
 - PROVIDE ISOLATION AND SEALANT JOINTS IN ALL LOCATIONS WHERE CONCRETE SLABS ABUT STRUCTURES, BUILDINGS, WALLS AND OTHER VERTICAL SITE FEATURES.
 - ADJUST ELEVATIONS OF ALL STRUCTURES TO REMAIN, (IE. MANHOLES, METERS, COVERS, CATCH BASINS, CLEANOUTS, DRAINS, ETC.) TO BE FLUSH WITH NEW PAVEMENT OR NEW FINISHED GRADE.
 - UNLESS NOTED OTHERWISE, PROVIDE A LIGHT BROOM FINISH FOR ALL EXTERIOR CONCRETE PAVEMENT AND CURBS.
 - CURB RADII FOR WALKS SHALL BE 7'-0" UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF CURB, EDGE OF PAVEMENT OR CENTERLINE UNLESS NOTED OTHERWISE.

AREA PLAN COMMISSION:

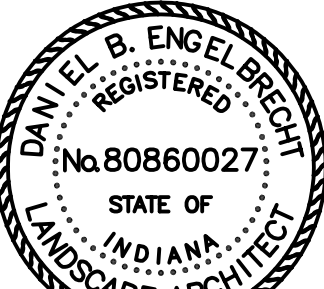
BASE AREA, EXISTING BUILDING:	0 SF
BASE AREA, NEW BUILDING:	374 SF
HEIGHT OF NEW BUILDING:	13'-6"
NUMBER OF STORIES, NEW BUILDING:	1
NUMBER OF EMPLOYEES:	0
NUMBER OF COMPANY VEHICLES:	0
NUMBER OF SEATS:	N.A.
PARKING REQUIRED:	N.A.
PARKING PROVIDED:	0
FLOOD ZONE:	X

GARVIN PARK ACTIVITY ZONE



GARVIN PARK
45 DON MATTINGLY WAY,
EVANSVILLE, IN 47711

HAFTER
architects • designers • engineers
21 SE Third Street,
Suite 800
Evansville, IN 47708
T: 812.422.4187
F: 812.421.6776
www.hafterdesign.com



Daniel Engelbrecht

Revisions:

Designed By: D.E.	Drawn By: R.H.	Checked By: D.E.
----------------------	-------------------	---------------------

The drawings, specifications and other documents, including those in electronic form prepared by Hafter for this project are Instruments of Service, and may be used solely with respect to this project. The documents may not be reproduced or modified by a third party without first obtaining the express written consent of Hafter. Authorized use of electronic media or file does not guarantee that these files contain complete and accurate information. In order to insure the accuracy of the information contained and that no changes or modifications have been made, these files must be compared to the project's contract documents with stamped and sealed certification and applicable approved modifications.

Sheet Title:

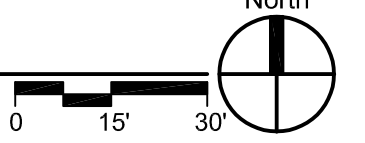
HARDSCAPE PLAN

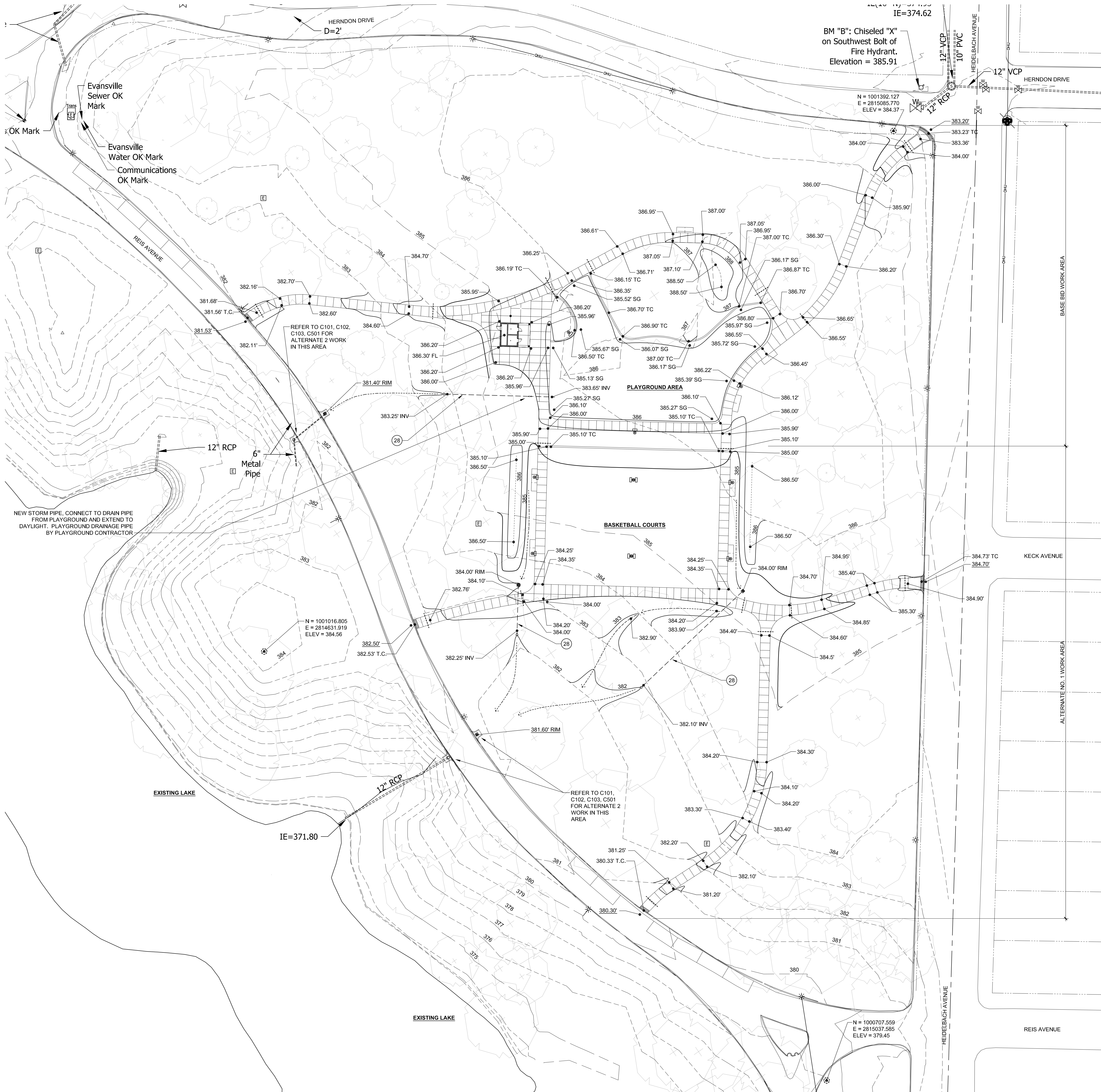
Architect's Project No. 2402-146
Date: MAY, 2025

Drawing No:

L1.1

HARDSCAPE PLAN
1" = 30'-0"





REFERENCE NOTES:

1. CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
2. SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
3. STORM DRAIN INLET PROTECTION, REFER TO 5/EC2.1.
4. CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
5. TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
6. VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
7. SOIL STOCKPILE AREA.
8. SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
9. TREE PROTECTION ZONE.
10. REMOVE SITE FEATURE.
11. REMOVE AND SALVAGE SITE FEATURE.
12. REMOVE CONCRETE CURB.
13. REMOVE CONCRETE PAVEMENT.
14. REMOVE ASPHALT PAVEMENT.
15. EXISTING WALK OR PAVEMENT TO REMAIN.
16. REMOVE TREE.
17. REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
18. ASPHALT PAVEMENT.
19. CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1A/2.1, 4A/2.1.
20. CONCRETE PAVEMENT, T=5", REFER TO DETAIL 1A/2.1.
21. ACCESSIBLE CURB RAMP, REFER TO 6A/2.1.
22. ATHLETIC SURFACING AND STRIPING.
23. BASKETBALL GOAL, REFER TO 10A/2.1.
24. EXPANSION JOINT, REFER TO 2A/2.1, 3A/2.1.
25. CONCRETE CURB, 6"x18", REFER TO 7A/2.1.
26. CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
27. THICKENED SLAB EDGE, REFER TO 11A/2.1.
28. NEW STORM DRAINAGE FEATURES, REFER TO C102.
29. CONCRETE CURB, 10"x18", REFER TO 9A/2.1.
30. SITE FURNITURE - NOT IN CONTRACT.
31. BACKFILL WITH PLANTING SOIL.
32. STONE EDGING REFER TO 15A/2.1.
33. RESTORE LAWN AREA, SEED AND MULCH.
34. EROSION CONTROL FIBER MESH.
35. 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP, EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

GENERAL GRADING PLAN NOTES:

1. MAXIMUM SLOPE OF ALL BASKETBALL COURTS SHALL BE .08%.
2. MAXIMUM CROSS SLOPE ON WALKS: 1.0%.
3. MAXIMUM RUNNING SLOPE ON WALKS: 5% UNLESS INDICATED OTHERWISE.
4. MINIMUM SLOPE IN LAWN AREAS: 2.0%.
5. EXISTING SPOT ELEVATIONS AND CONTOURS INDICATED ON THIS PLAN ARE APPROXIMATE.
6. EXCEPT IN LAWN AREAS, ALL FILL SHALL BE SUITABLE FILL OR ENGINEERED FILL.
7. FILL SOILS SHALL BE PLACED ONLY WHEN MOISTURE CONTENT IS WITHIN 2% OF OPTIMUM, PER MODIFIED PROCTOR METHOD.
8. PERFORM EARTHMOVING WORK ONLY WHEN WEATHER CONDITIONS ARE WARM AND DRY.
9. PERFORM FINISH GRADING AND SOIL PREPARATION IN ALL LAWN AREAS. FINAL GRADE SHALL BE SMOOTH ENOUGH TO PERMIT CONVENIENT MOVING USING A SMALL-WHEELED, WALK-BEHIND MOWER.

FLOOD ZONE: X

LEGEND:

- 101.21' EXISTING SPOT ELEVATION
- 101.21' NEW SPOT ELEVATION
- 101.21' TC NEW SPOT ELEVATION, TOP OF CURB
- 101.21' TW NEW SPOT ELEVATION, TOP OF WALL
- 101.21' SG NEW SPOT ELEVATION, SUBGRADE
- 101.21' FL NEW SPOT ELEVATION, FLOOR LINE OF BUILDING
- NEW CONTOUR
- EXISTING CONTOUR
- SWALE

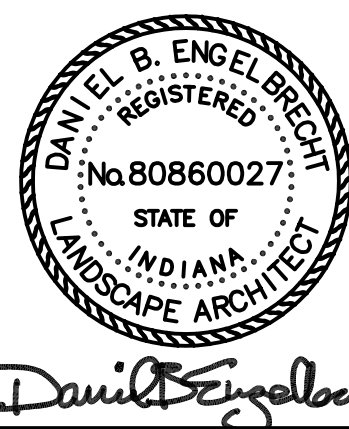
GARVIN PARK ACTIVITY ZONE



GARVIN PARK
45 DON MATTINGLY WAY,
EVANSVILLE, IN 47711

HAFER
architects • designers • engineers

21 SE Third Street,
Suite 800
Evansville, IN 47708
T: 812.422.4187
F: 812.421.6776
www.hafersdesign.com



Revisions:

Designed By: D.E.	Drawn By: R.H.	Checked By: D.E.
----------------------	-------------------	---------------------

The drawings, specifications and other documents, including those in electronic form prepared by Hafer for this project are instruments of service, and may be used solely with respect to this project. The documents may not be reproduced or modified by a third party without first obtaining the express written consent of Hafer. Authorized use of electronic media or file does not guarantee that these files contain complete and accurate information. In order to insure the accuracy of the information contained and that no changes or modifications have been made, these files must be compared to the project's contract documents with stamped and sealed certification and applicable approved modifications.

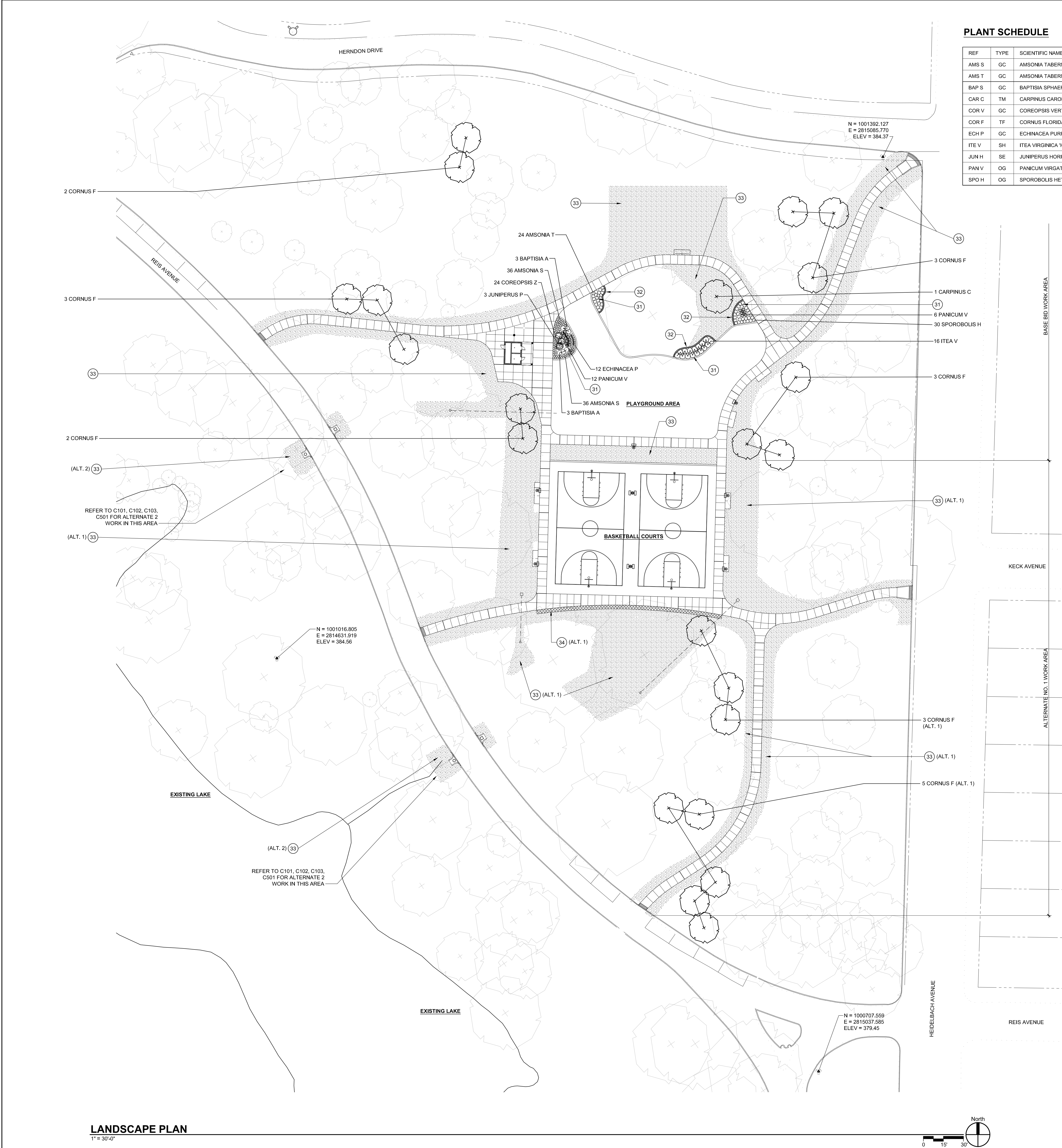
Sheet Title:

GRADING PLAN

Architect's Project No. 2402-146	Date: MAY, 2025
-------------------------------------	--------------------

Drawing No:

L1.2



PLANT SCHEDULE

REF	TYPE	SCIENTIFIC NAME	COMMON NAME	SIZE / CONTAINER	NOTES	SPACING	REMARKS
AMS S	GC	AMSONIA TABERNAEMONTANA 'SHORTSTACK'	MONTANA BLUESTAR	#1 POT	M-1	1'-6" O.C.	
AMS T	GC	AMSONIA TABERNAEMONTANA	MONTANA BLUESTAR	#1 POT	4, M-1	2'-0" O.C.	
BAP S	GC	BAPTISIA SPHAEROCARPA 'SCREAMIN YELLOW'	YELLOW WILD INDIGO	2'-0"W x 2'-0" H	M-1	3'-6" O.C.	
CAR C	TM	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2 1/2" CALIPER	3,4		
COR V	GC	COREOPSIS VERTICILLATA 'ZAGREB'	THREADLEAF COREOPSIS	#1 POT	M-1	1'-6" O.C.	
COR F	TF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	DOGWOOD	2 1/2" CALIPER	3,4		
ECH P	GC	ECHINACEA PURPUREA 'PICA BELLA'	PURPLE CONEFLOWER	#1 POT	M-1	2'-0" O.C.	
ITE V	SH	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA SWEETSPIRE	2'-0"W x 2'-0" H	M-3	4'-0" O.C.	
JUN H	SE	JUNIPERUS HORIZONTALIS 'PLUMOSA'	CREEPING JUNIPER	2'-6"W x 1'-0" H	M-6	4'-0" O.C.	
PAN V	OG	PANICUM VIRGATUM 'NORTHWIND'	SWITCH GRASS	#2 POT	M-1	2'-0" O.C.	
SPO H	OG	SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSEED	#1 POT	M-1	2'-0" O.C.	

MAINTENANCE NOTES:

- M-1 CUT BACK TO ROOT FLAIR OR CLUMP IN WINTER.
- M-2 DO NOT OVERWATER, ONCE ESTABLISHED.
- M-3 PRUNE AFTER FLOWERING.
- M-4 PRUNE ROOT SUCKERS.
- M-5 PRUNE IN SUMMER ONLY.
- M-6 NATURAL FORM DO NOT PRUNE.
- M-7 PRUNE IN LATE WINTER.
- M-8 MOW TWICE ANNUALLY.
- M-9 WATER TWICE WEEKLY DURING DRY WEATHER.
- M-10 MULCH OVER ROOT ZONE IN SUMMER.
- M-11 MULCH OVER ROOT ZONE IN WINTER.

PLANT TYPES:

- TM TREE, MEDIUM SIZE
- TL TREE, LARGE SIZE
- TF FLOWERING TREE
- SH SHRUB - FLOWERING
- SE SHRUB - EVERGREEN
- GC GROUND COVER
- OG ORNAMENTAL GRASS

PLANT SCHEDULE NOTES:

- 1. USE SPHAGNUM PEAT IN LIEU OF COMPOST IN PLANTING SOIL AND MULCH.
- 2. BACKFILL WITH 50% SAND AND 50% PLANTING SOIL.
- 3. BALL AND BURLAP.
- 4. NATIVE SPECIES, NO SUBSTITUTIONS
- 5. ORGANIC MULCH IN LIEU OF STONE MULCH.

REFERENCE NOTES:

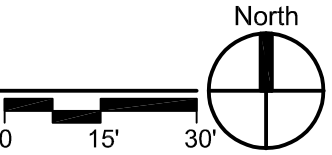
- 1 CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
- 2 SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
- 3 STORM DRAIN INLET PROTECTION, REFER TO 5/EC2.1.
- 4 CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
- 5 TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
- 6 VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
- 7 SOIL STOCKPILE AREA.
- 8 SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
- 9 TREE PROTECTION ZONE.
- 10 REMOVE SITE FEATURE.
- 11 REMOVE AND SALVAGE SITE FEATURE.
- 12 REMOVE CONCRETE CURB.
- 13 REMOVE CONCRETE PAVEMENT.
- 14 REMOVE ASPHALT PAVEMENT.
- 15 EXISTING WALK OR PAVEMENT TO REMAIN.
- 16 REMOVE TREE.
- 17 REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
- 18 ASPHALT PAVEMENT.
- 19 CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1/L2.1, 4/L2.1.
- 20 CONCRETE PAVEMENT, T=5", REFER TO DETAIL 1/L2.1.
- 21 ACCESSIBLE CURB RAMP, REFER TO 6/L2.1.
- 22 ATHLETIC SURFACING AND STRIPING.
- 23 BASKETBALL GOAL, REFER TO 10/L2.1.
- 24 EXPANSION JOINT, REFER TO 2/L2.1, 3/L2.1.
- 25 CONCRETE CURB, 6"x18", REFER TO 7/L2.1.
- 26 CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
- 27 THICKENED SLAB EDGE, REFER TO 11/L2.1.
- 28 NEW STORM DRAINAGE FEATURES, REFER TO C102.
- 29 CONCRETE CURB, 10"x18", REFER TO 9/L2.1.
- 30 SITE FURNITURE - NOT IN CONTRACT.
- 31 BACKFILL WITH PLANTING SOIL.
- 32 STONE EDGING REFER TO 15/L2.1.
- 33 RESTORE LAWN AREA, SEED AND MULCH.
- 34 EROSION CONTROL FIBER MESH.
- 35 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP, EXTEND 2'-4" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

TREE SUMMARY:

BASE BID:	
LIVE TREES REMOVED:	7
DEAD TREES REMOVED:	1
NEW TREES PLANTED:	13
ALTERNATE NO. 1:	
LIVE TREES REMOVED:	4
DEAD TREES REMOVED:	1
NEW TREES PLANTED:	8

LANDSCAPE PLAN

1" = 30'-0"



GARVIN PARK ACTIVITY ZONE



GARVIN PARK
45 DON MATTINGLY WAY,
EVANSVILLE, IN 47711

HAFFER
architects • designers • engineers
21 SE Third Street,
Suite 800
Evansville, IN 47708
T: 812.422.4187
F: 812.421.6776
www.hafferdesign.com



Revisions:

Designed By: D.E.	Drawn By: R.H.	Checked By: D.E.
----------------------	-------------------	---------------------

The drawings, specifications and other documents, including those in electronic form prepared by Haffer for this project are instruments of service, and may be used solely with respect to this project. The documents may not be reproduced or modified by a third party without first obtaining the express written consent of Haffer. Authorized use of electronic media or file does not guarantee that these files contain complete and accurate information. In order to insure the accuracy of the information contained and that no changes or modifications have been made, these files must be compared to the project's contract documents with stamped and sealed certification and applicable approved modifications.

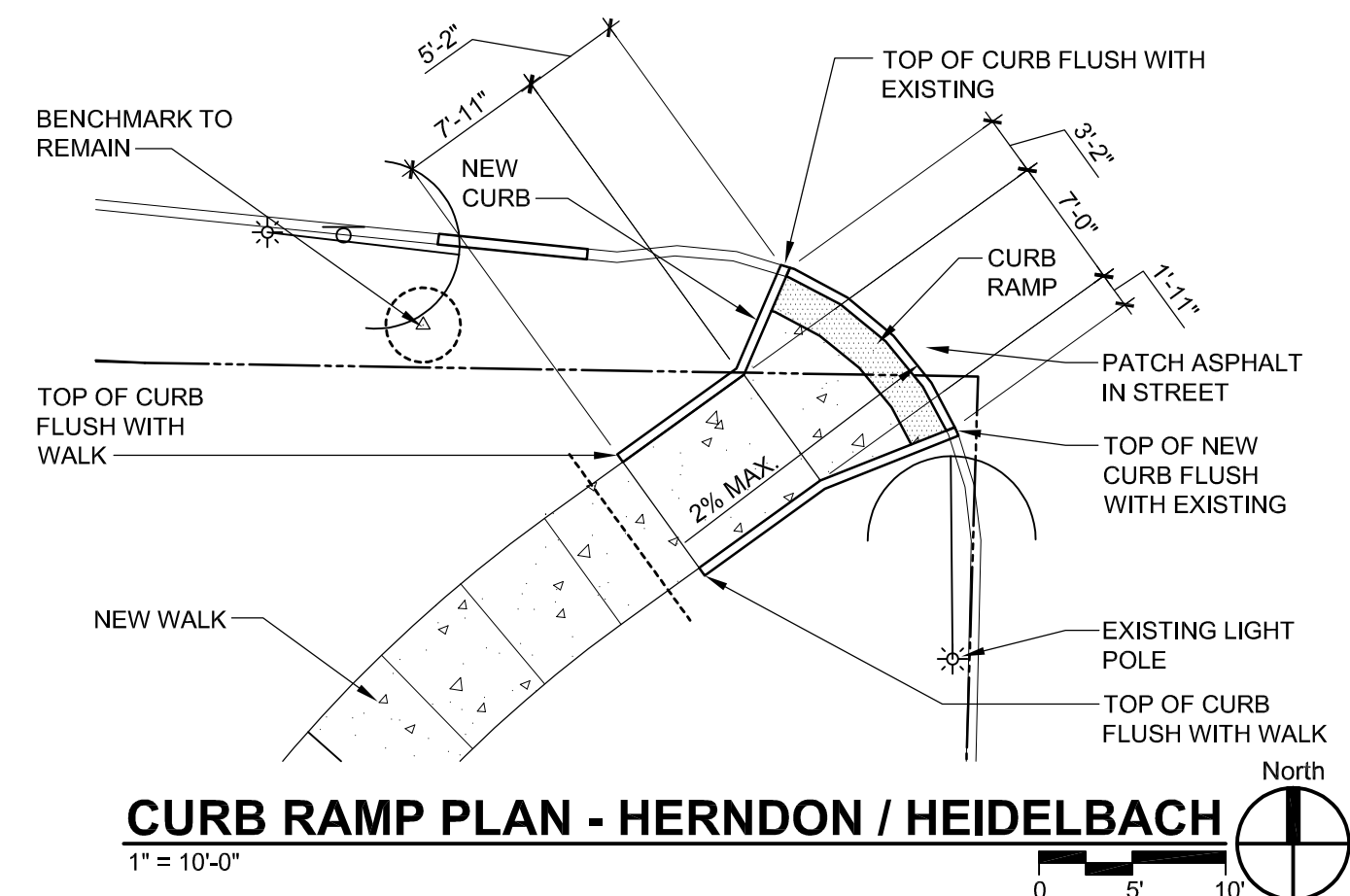
Sheet Title:

LANDSCAPE PLAN

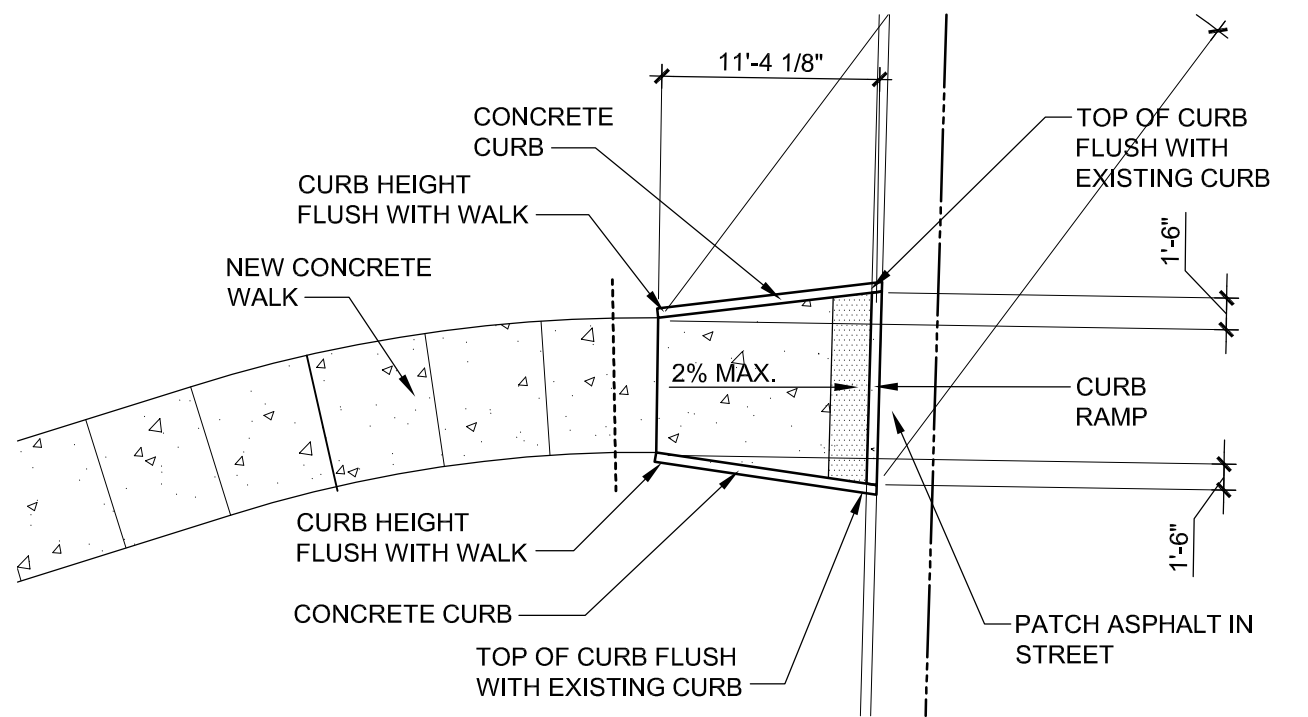
Architect's Project No. 2402-146 Date: MAY, 2025

Drawing No:

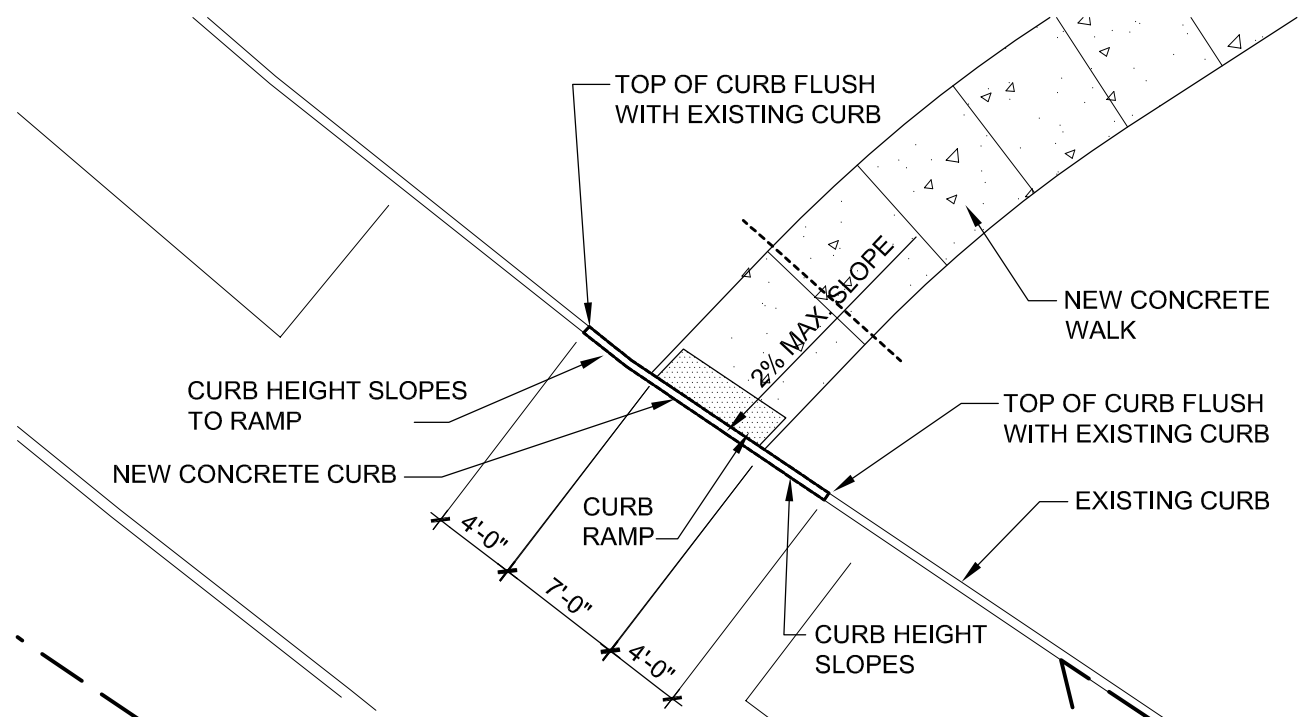
L1.3



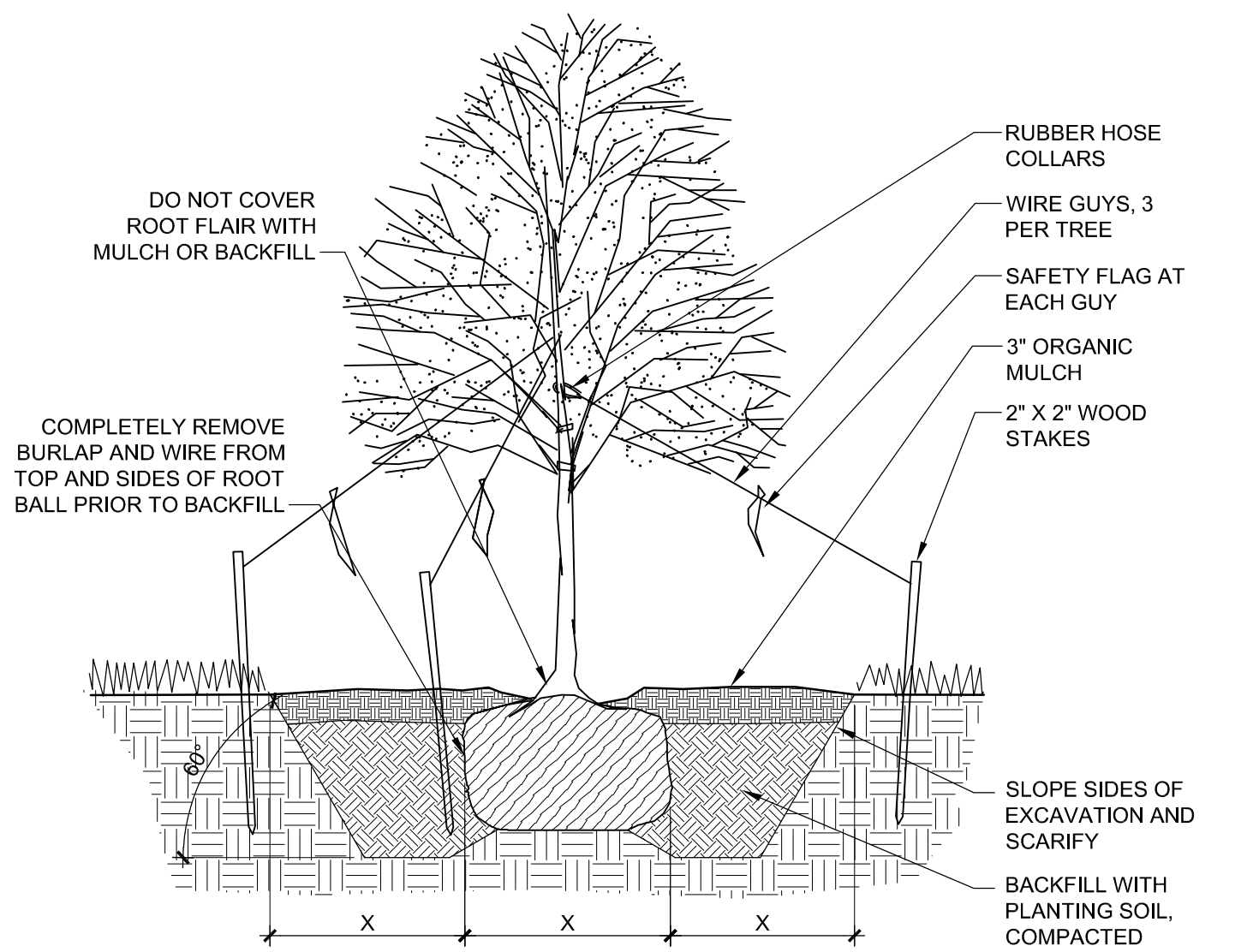
CURB RAMP PLAN - HERNDON / HEIDELBACH
1" = 10'-0"



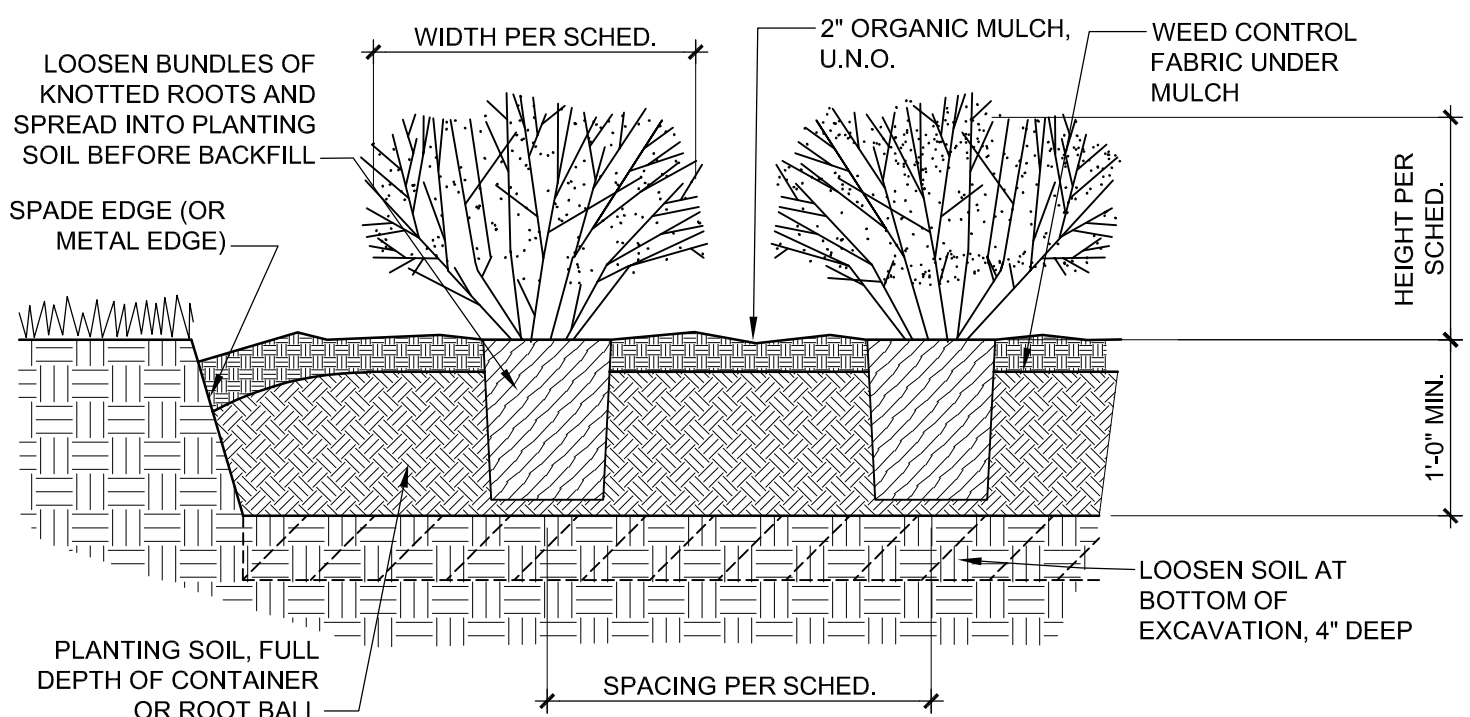
CURB RAMP PLAN - KECK / HEIDELBACH
1" = 10'-0"



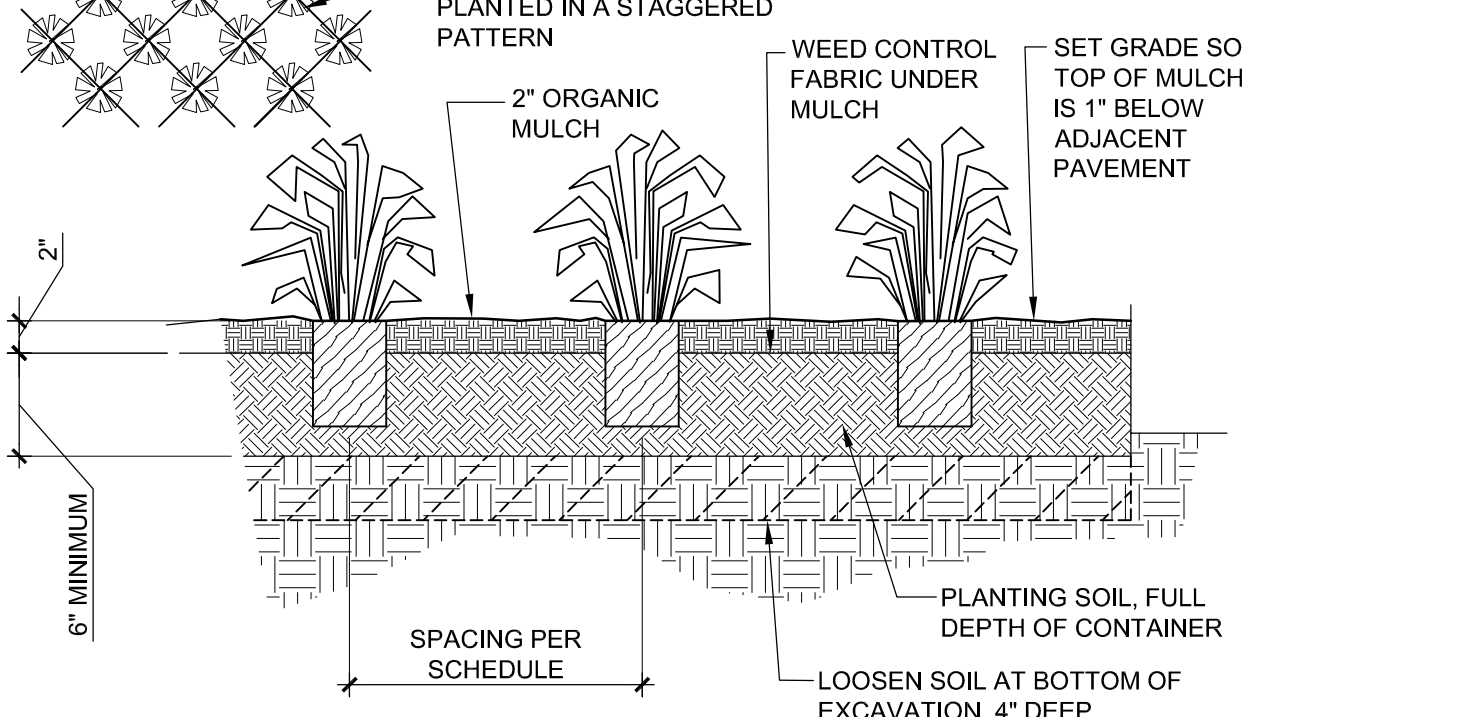
CURB RAMP PLAN - REIS AVENUE (TYPICAL)
1" = 10'-0"



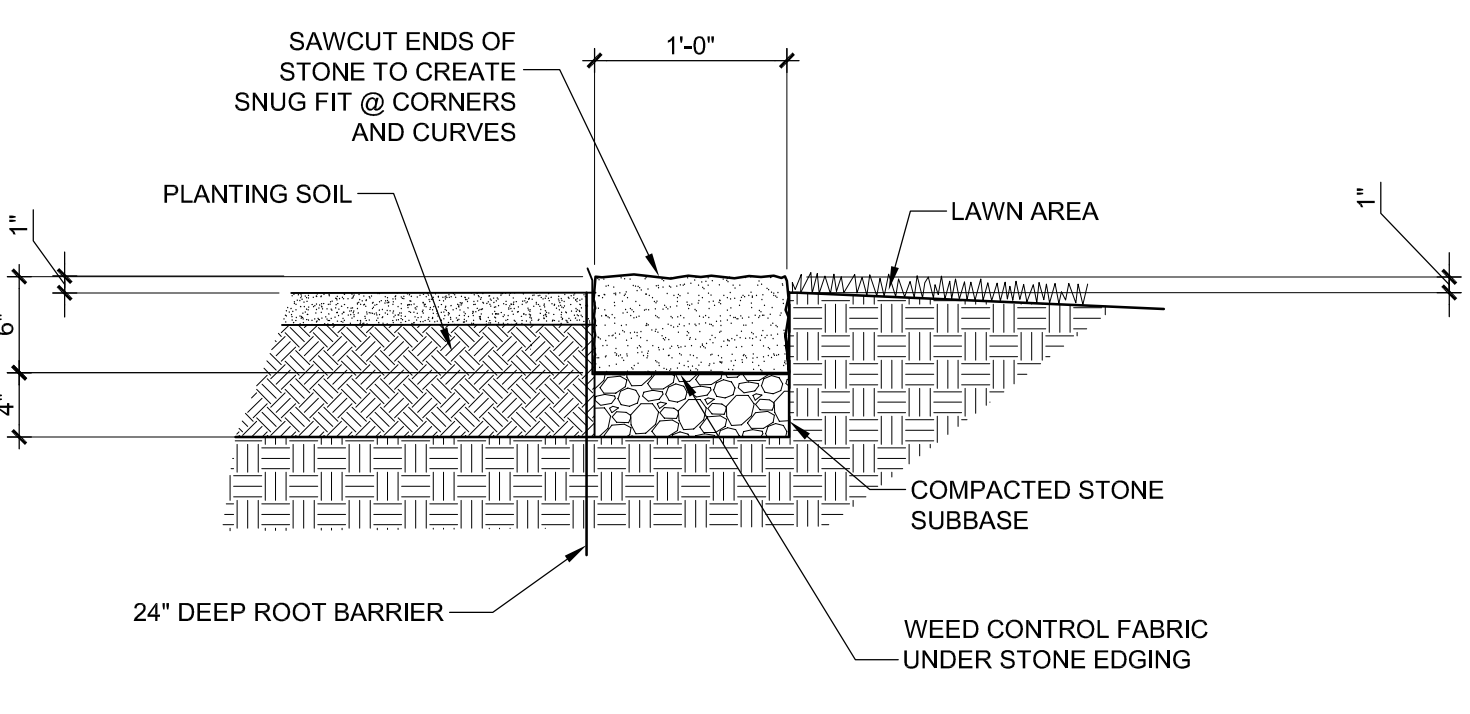
12 TREE PLANTING DETAIL
L2.1 1" = 1'-0"



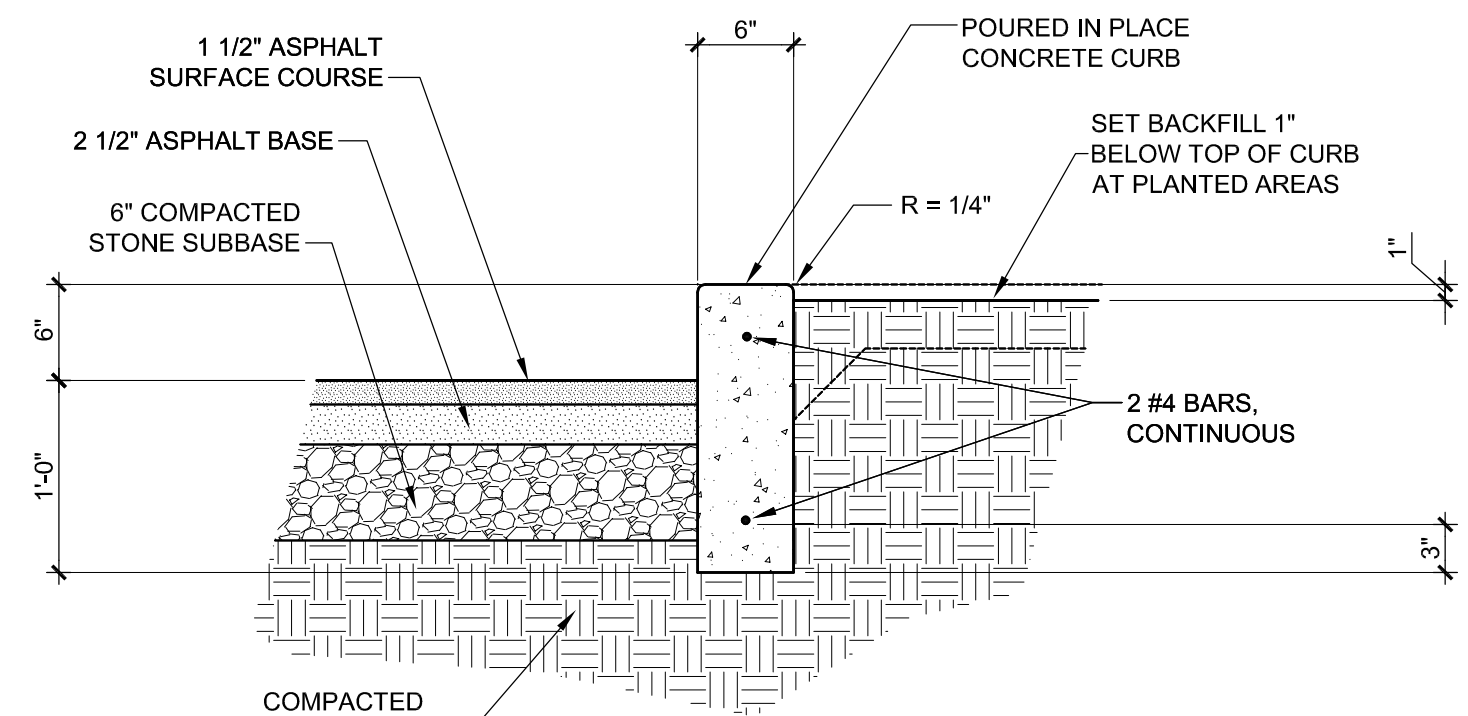
13 SHRUB PLANTING DETAIL
L2.1 1" = 1'-0"



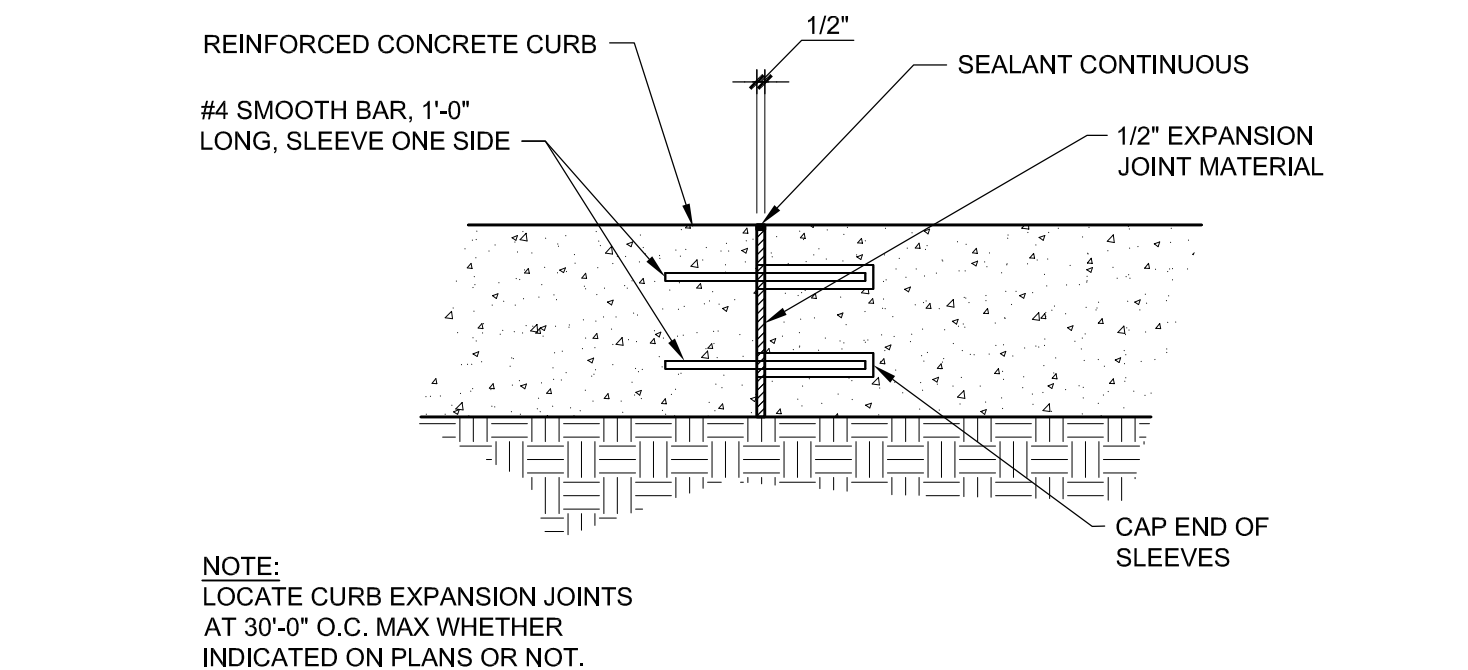
14 GROUND COVER PLANTING DETAIL
L2.1 1" = 1'-0"



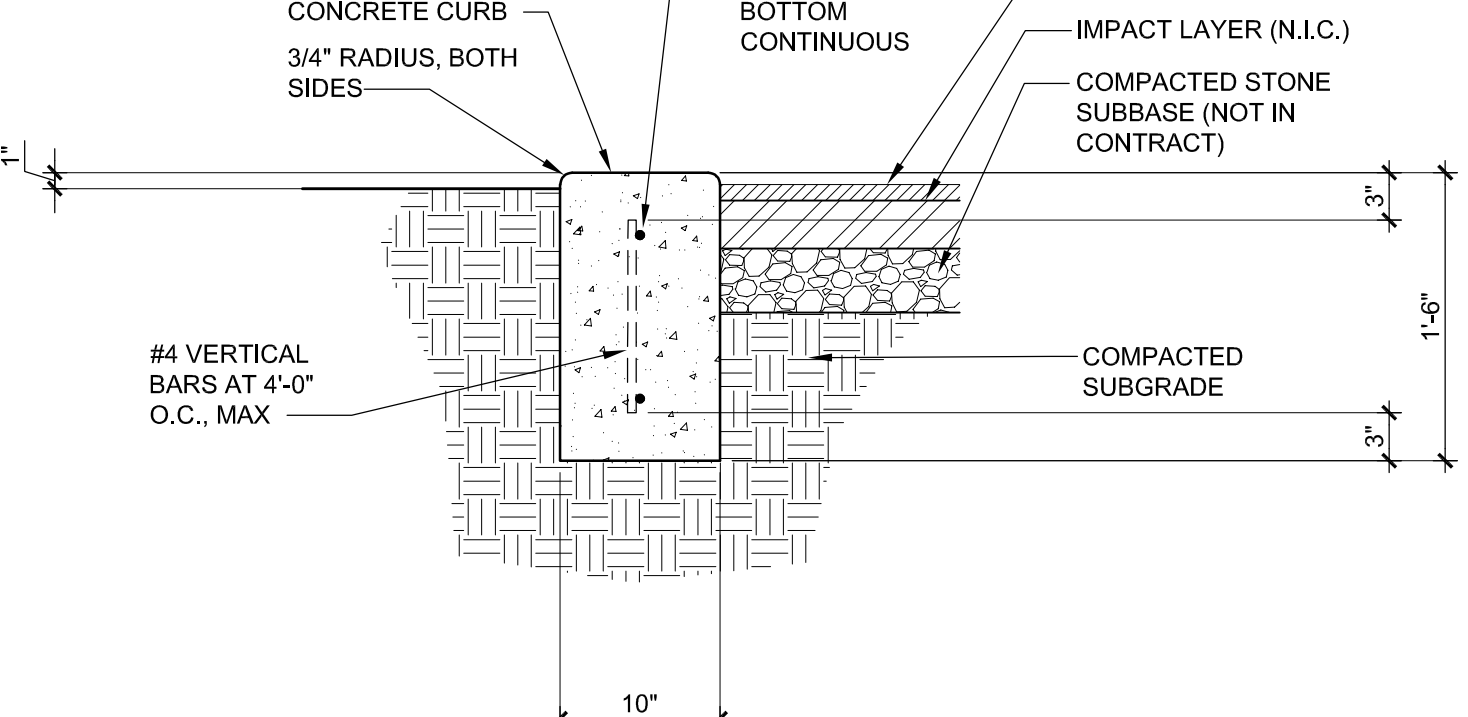
15 STONE EDGING AT SHRUB BED
L2.1 1" = 1'-0"



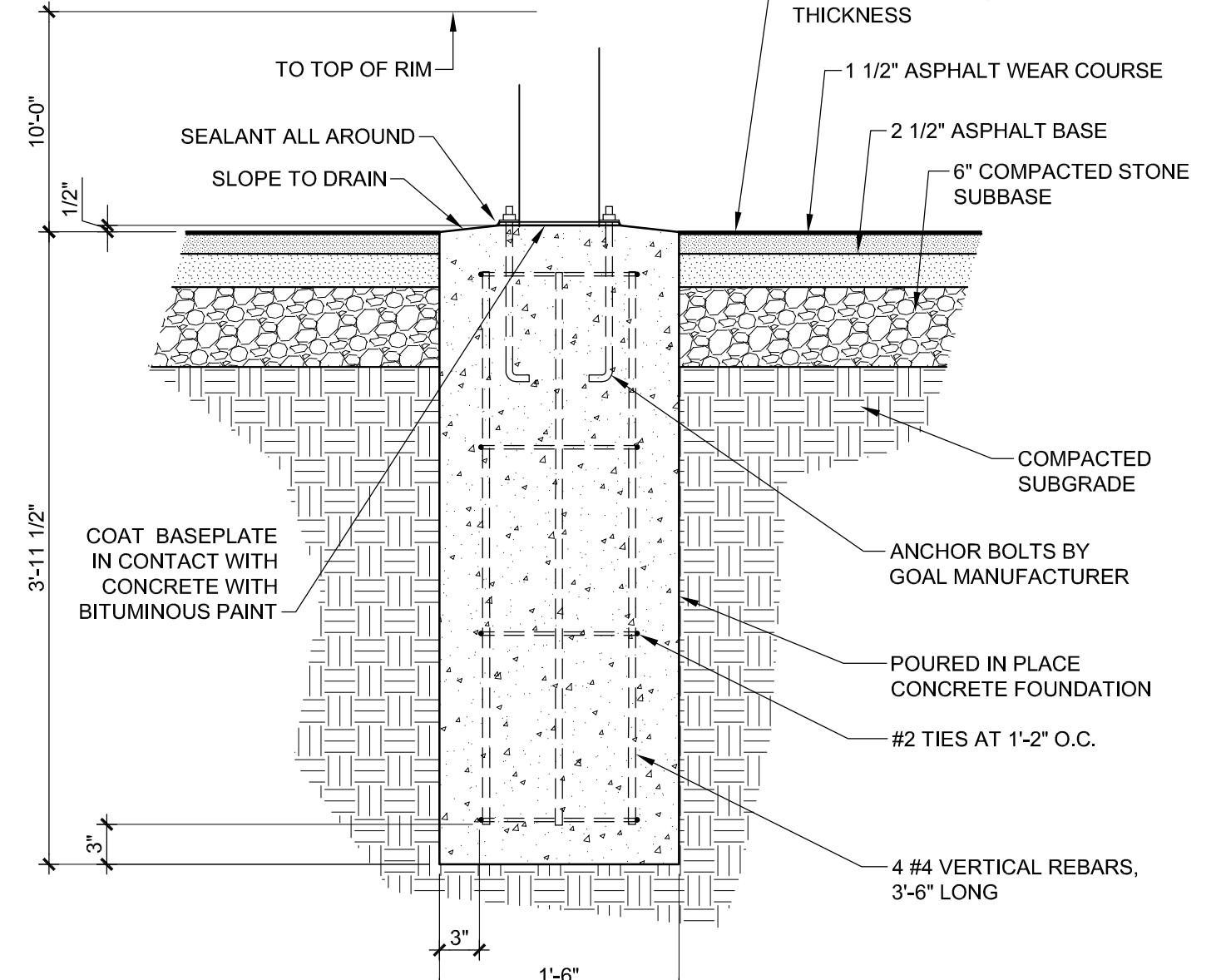
7 CURB SECTION - STREET
L2.1 1" = 1'-0"



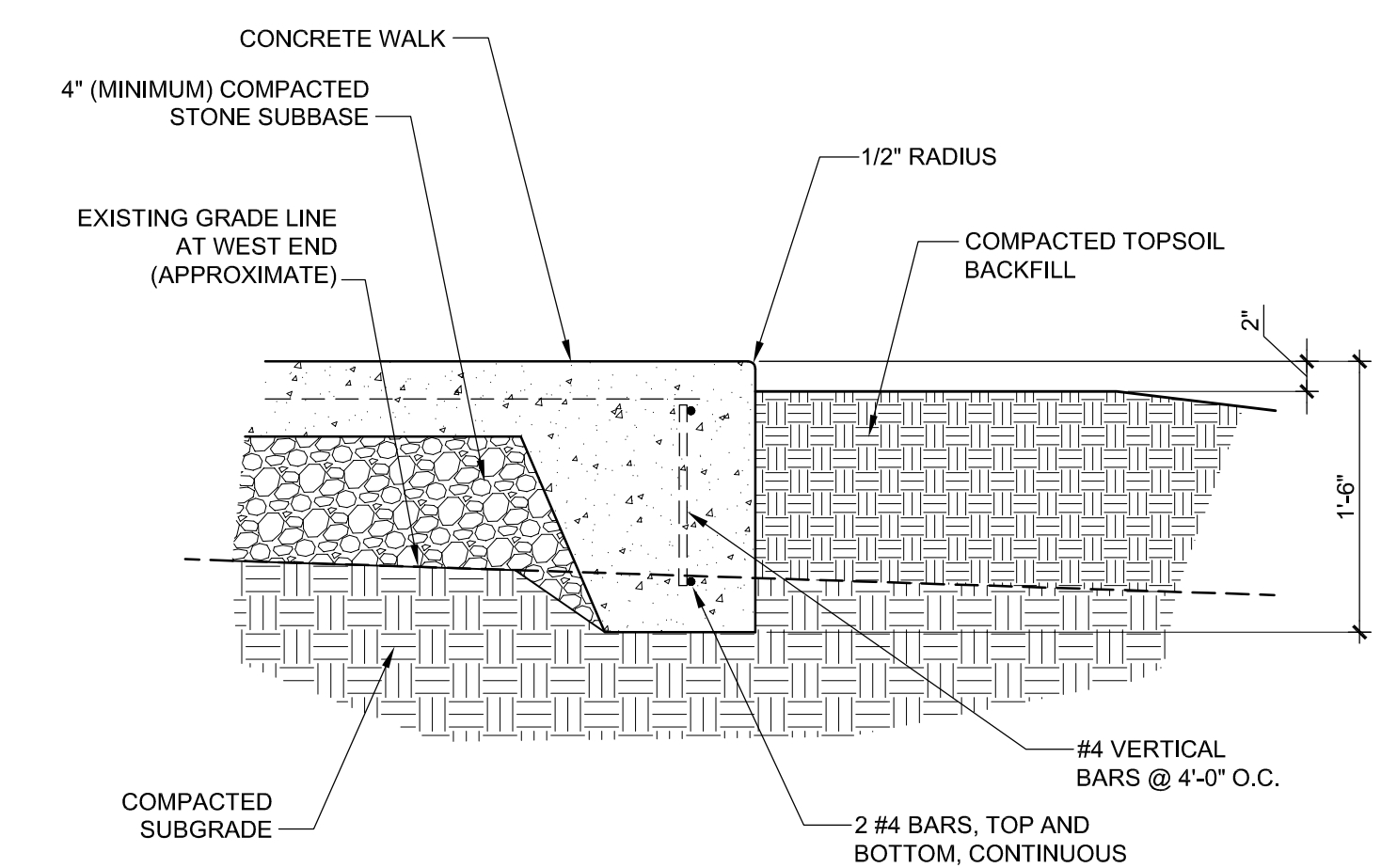
8 CURB EXPANSION JOINT
L2.1 1" = 1'-0"



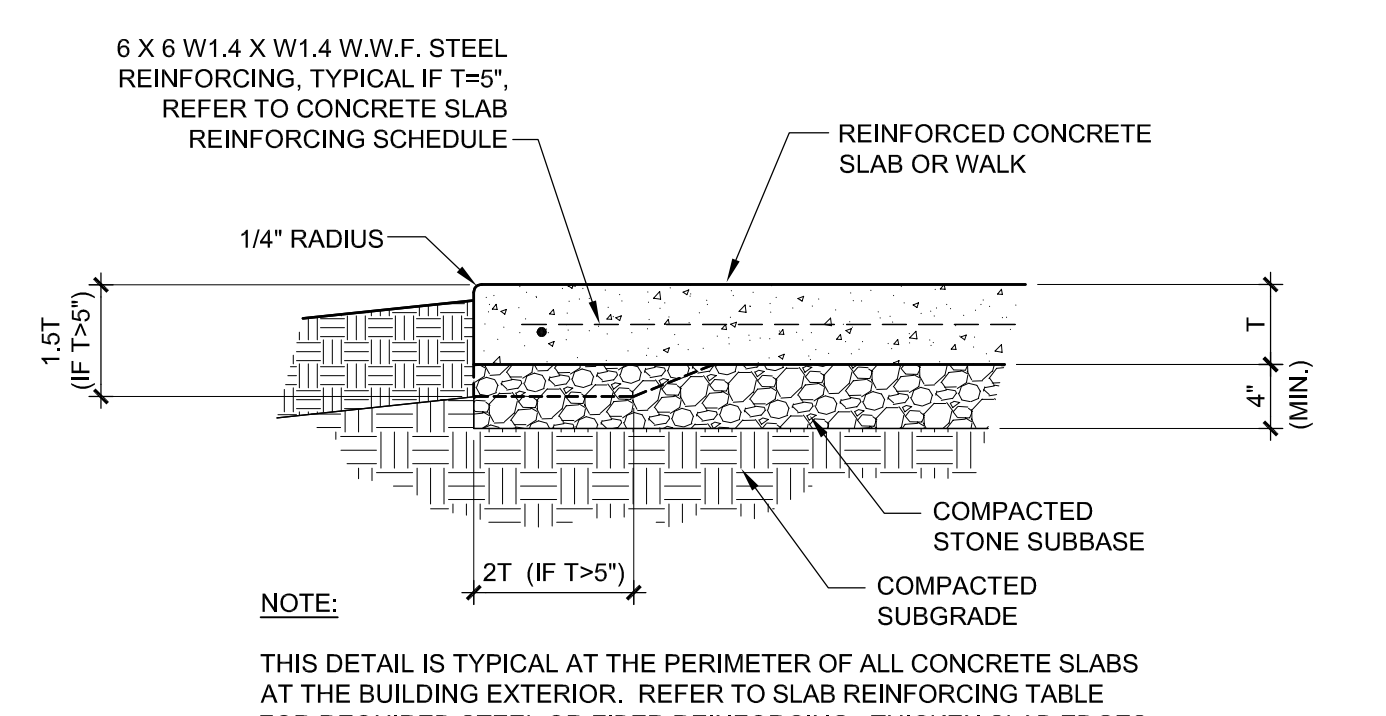
9 CURB SECTION - PLAYGROUND
L2.1 1" = 1'-0"



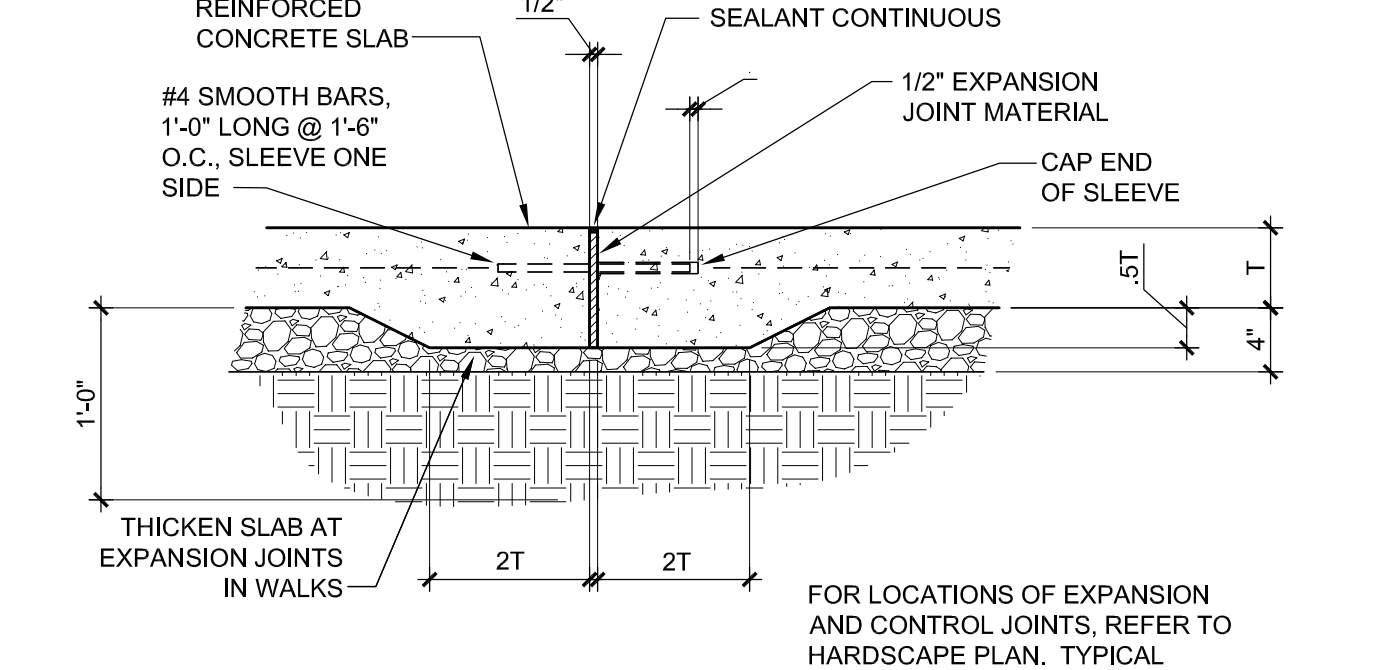
10 BASKETBALL GOAL FOUNDATION DETAIL
L2.1 1" = 1'-0"



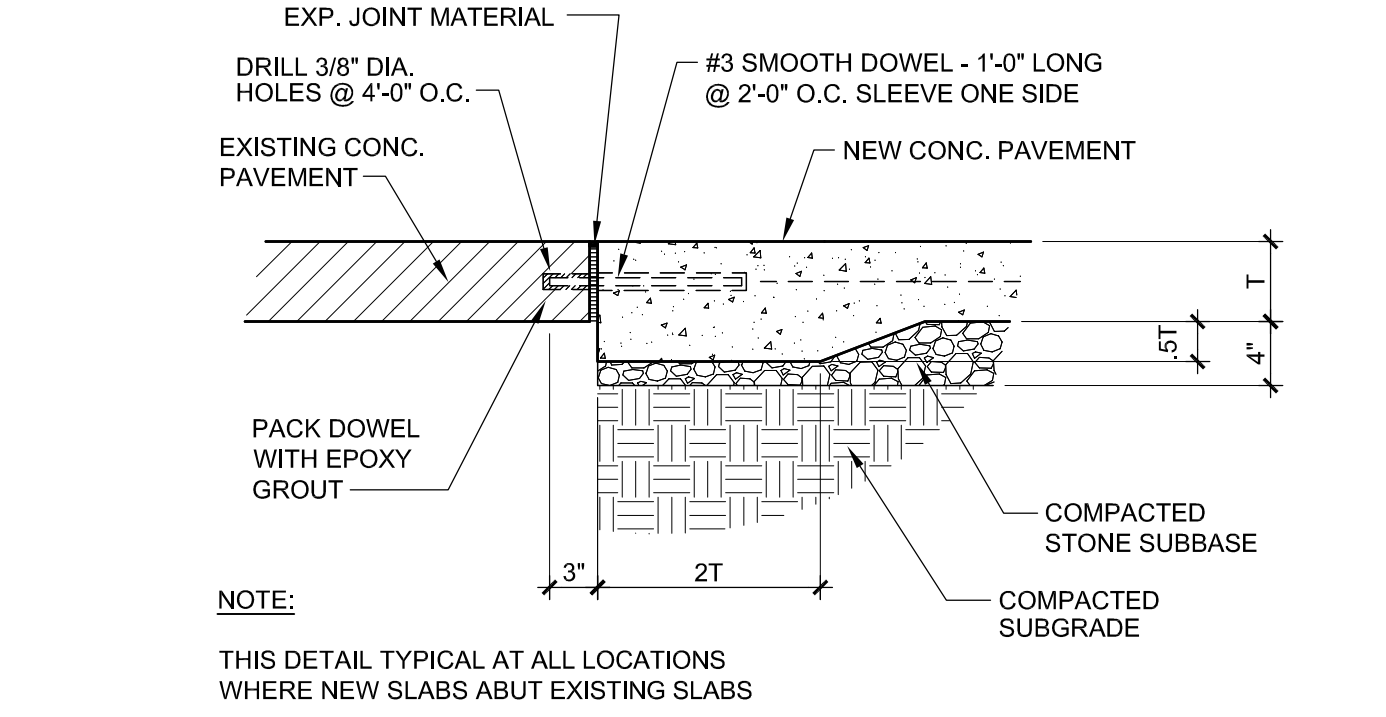
11 SLAB EDGE SECTION - SOUTH WALK
L2.1 1" = 1'-0"



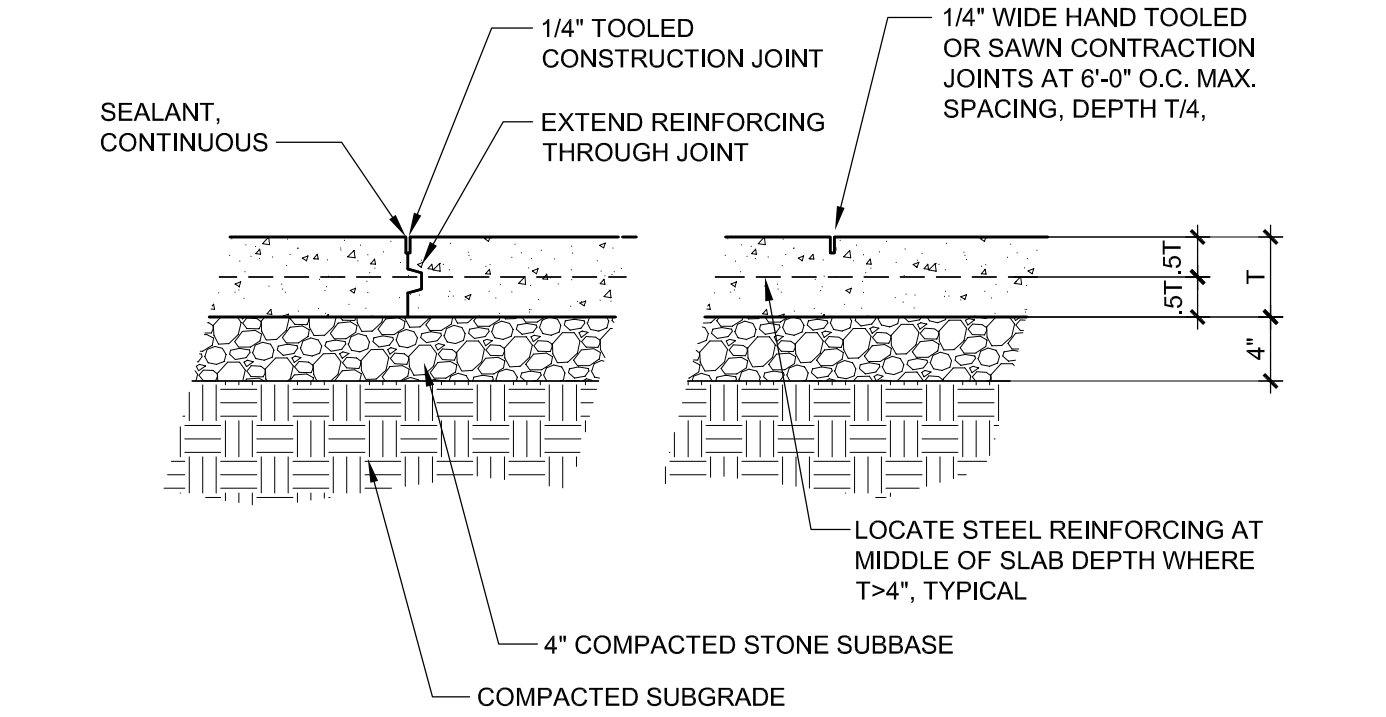
1 TYPICAL SLAB EDGE
C2.1 1" = 1'-0"



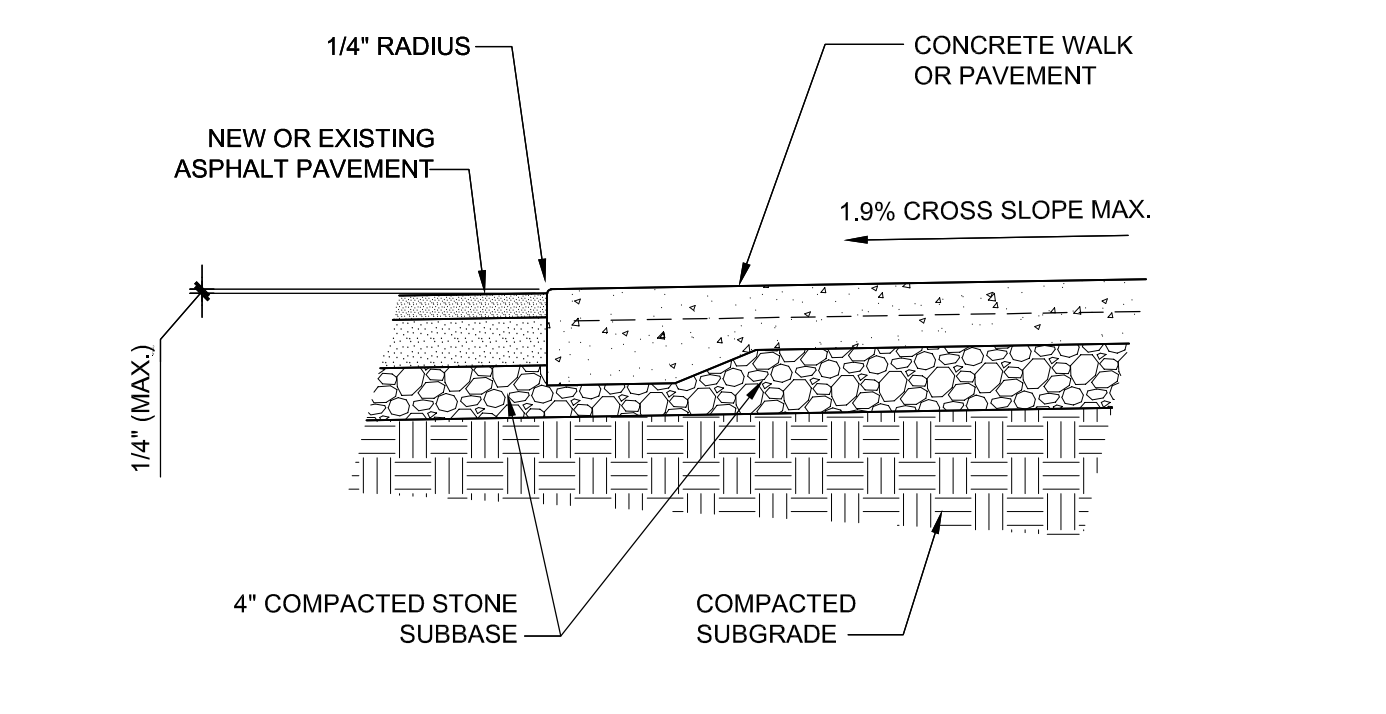
2 SLAB EXPANSION JOINT AT WALK
L2.1 1" = 1'-0"



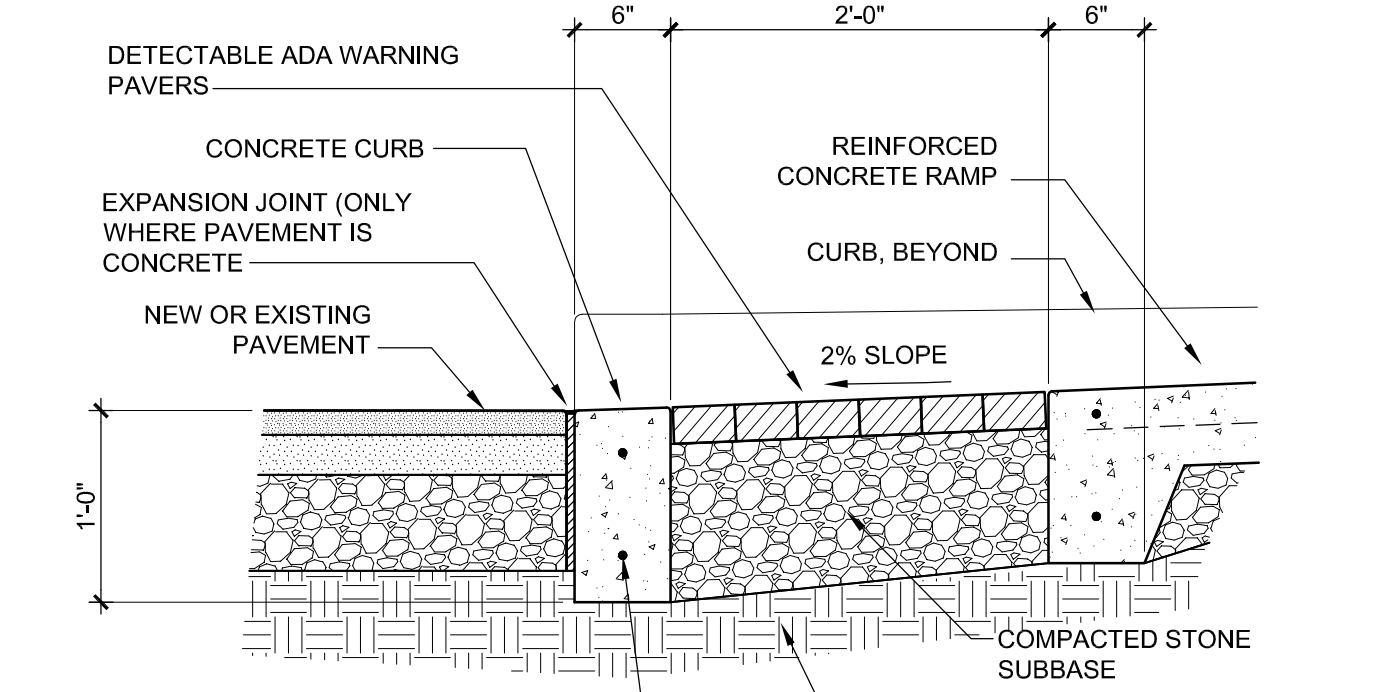
3 EXISTING SLAB JOINT
L2.1 1" = 1'-0"



4 CONSTRUCTION & CONTRACTION JOINTS
L2.1 1" = 1'-0"



5 WALK FLUSH WITH PAVEMENT
L2.1 1" = 1'-0"



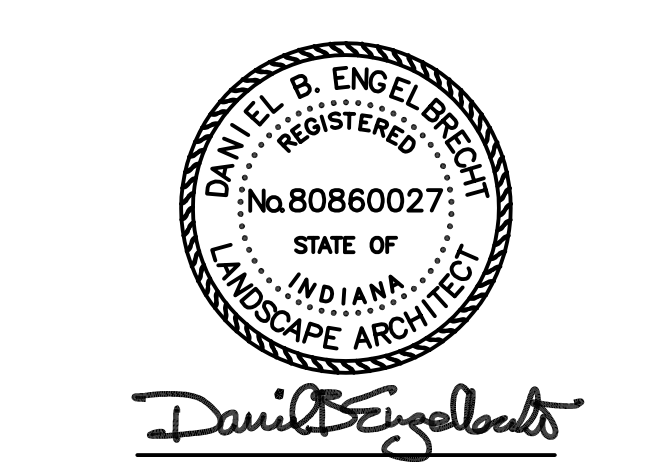
6 ADA WARNING PAVERS AT RAMP
L2.1 1" = 1'-0"

GARVIN PARK ACTIVITY ZONE



GARVIN PARK
45 DON MATTINGLY WAY,
EVANSVILLE, IN 47711

HAFFER
architects • designers • engineers
21 SE Third Street,
Suite 800
Evansville, IN 47708
T: 812.422.4187
F: 812.421.6776
www.hafferdesign.com



Revisions:

Designed By: D.E.	Drawn By: R.H.	Checked By: D.E.
----------------------	-------------------	---------------------

The drawings, specifications and other documents, including those in electronic form prepared by Haffer for this project are instruments of service, and may be used solely with respect to this project. The documents may not be reproduced or modified by a third party without first obtaining the express written consent of Haffer. Authorized use of electronic media or file does not guarantee that these files contain complete and accurate information. In order to insure the accuracy of the information contained and that no changes or modifications have been made, these files must be compared to the project's contract documents with stamped and sealed certification and applicable approved modifications.

Sheet Title:

SITE DETAILS

Architect's Project No. 2402-146	Date: MAY, 2025
-------------------------------------	--------------------

Drawing No:

L2.1