

# GARVIN PARK ACTIVITY ZONE

GARVIN PARK  
45 DON MATTINGLY WAY  
EVANSVILLE, IN 47711



IFB-508-02-2025

Project No. 2402-146

Date: May, 2025

**HAFER**  
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**GARVIN PARK VICINITY PLAN**  
NO SCALE

Mayor's Office  
Stephanie Terry, Mayor  
Lindsay Snyder, Deputy Mayor

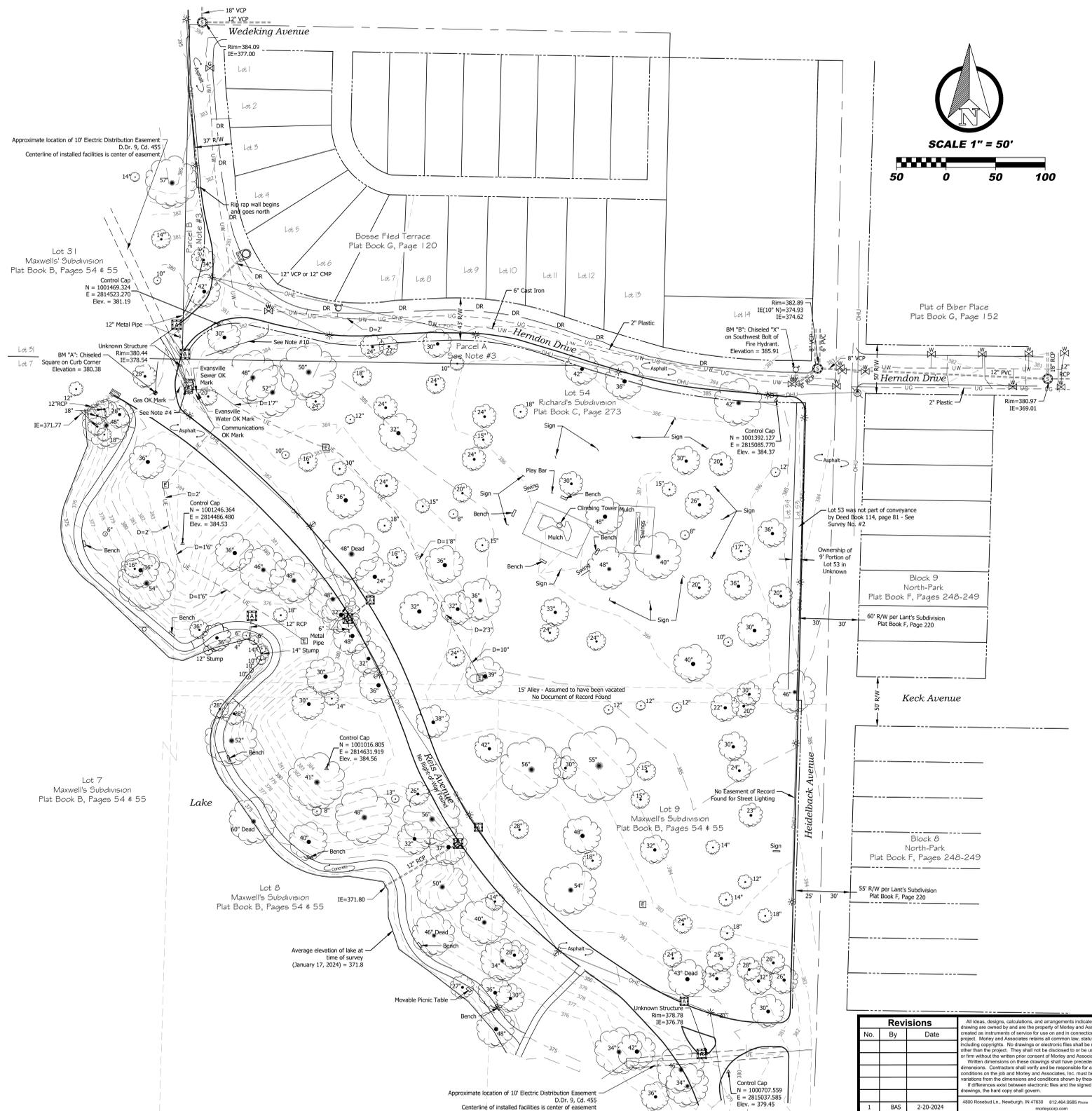
Board of Park Commissioners  
Wayne Kinney  
John Bates  
Derrick Cleon  
Reese A. Hamilton  
Janice K. Davies

Department of Parks and Recreation  
Danielle Crook - Executive Director  
Paul Bouseman - Deputy Director



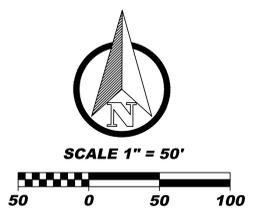
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GARVIN PARK ACTIVITY ZONE



**Legend**

	Area Drain		Center Line
	Curb Inlet		Right-of-way Line
	Electric Junction Box		Overhead Electric
	Electric Meter		Overhead Utilities
	Electric Transformer		Underground Electric
	Fire Hydrant		Underground Gas
	Gas Valve		Underground Water
	Guy Wire		
	Light Pole		
	Sanitary Sewer Manhole		
	Sign		
	Water Valve		
	Driveway		
	Depth of Utility line per Underground Detective		



**Survey Notes:**

- Project Scope: Provide a topographic survey showing road right of ways and easements based upon limited boundary data found in the field. This survey does not represent a Retracement Survey to I.A.C. Title 865 Retracement Standards.
- The surveyed area was part of the area conveyed to the City of Evansville and is of record in Deed Book 114, Page 81. Lots 7, 8 & 9 and part of Lot 31 of Maxwell's Subdivision and Lot 54 of Richard's Subdivision, which are all part of this survey, were part of the conveyance. No documentation for ownership for a 9' strip off the west end of Lot 53 of Richard's Subdivision, and replatted as part of Lant's Subdivision, being along the east side of the surveyed area, could be located.
- Parcels A & B on the survey, being areas south and west of Herndon Drive were dedicated to the City of Evansville in the plat of Bosse Field Terrace, Plat Book G, Page 120.
- Easements were searched for by using Tapestry/Laredo. No easements were found in the surveyed area. It is believed that there may be an easement for the transformer located at the northwest corner of the site.
- Horizontal Coordinates: Indiana State Plane West 1302 NAD 83 (US Feet)
- Vertical Datum: NAVD 1988 based upon OPUS observation on December 21, 2023
- This survey plat does not represent evidence as to the location of underground features such as coal, oil, gas, tanks, wells or any other rights or claims that may exist underground and no claim or liability is expressed by the surveyor.
- This survey plat does not purport to indicate any evidence of hazardous or environmentally injurious materials and the surveyor expressly disclaims any responsibility or liability for the same.
- This survey plat may indicate the possible presence of underground utility services. All underground utility lines or features shown hereon are based on visible above ground features and or paint markings placed on the ground by the underground locate service and or maps provided by the operating companies. Additional underground utilities may exist, and their locations may vary from those shown. All contractors are required by law to contact the underground locate services prior to any digging or disturbance of the surface. Call 811. 3 locates were placed on-line. The Confirmation numbers for those tickets are as follows: #2401181962 placed for the entire site; #2401260129 for pavement of Herndon Drive west of Heidelberg Ave.; and 2402065338 for pavement of Herndon Dr. east of Heidelberg Ave.
- Underground Detective located private utilities for the survey. Their work was completed on January 29, 2024 and included the electric lines feeding easterly off the transformer at the west side of the survey. A line of unknown use was found north of the transformer near the intersection of Herndon Drive and the entrance into the park.
- Morley and its employees have made no attempt to physically locate underground features such as footings and other underground improvements.
- This survey is based on documentation provided or found at the time of the survey. Any document or information that may be provided later may change the surveyor's opinion as to the location of the lines and features shown on this survey.
- No cemeteries, grave sites, burial grounds or head stones were observed during the course of the fieldwork.
- Control cap = 5/8" steel rebar with orange plastic cap stamped "Morley Control".
- Sizes of utilities shown are per utility maps and 811 dig ticket notes.

Revisions		
No.	By	Date
1	BAS	2-20-2024

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Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and Morley and Associates, Inc. must be notified of any variations from the dimensions and conditions shown by these drawings. If differences exist between electronic files and the signed and sealed hard copy drawings, the hard copy shall govern.

4800 Rosedale Ln., Newburgh, IN 47030 812.464.9585 (Home) 812.464.2514 (Fax) morleyeng.com

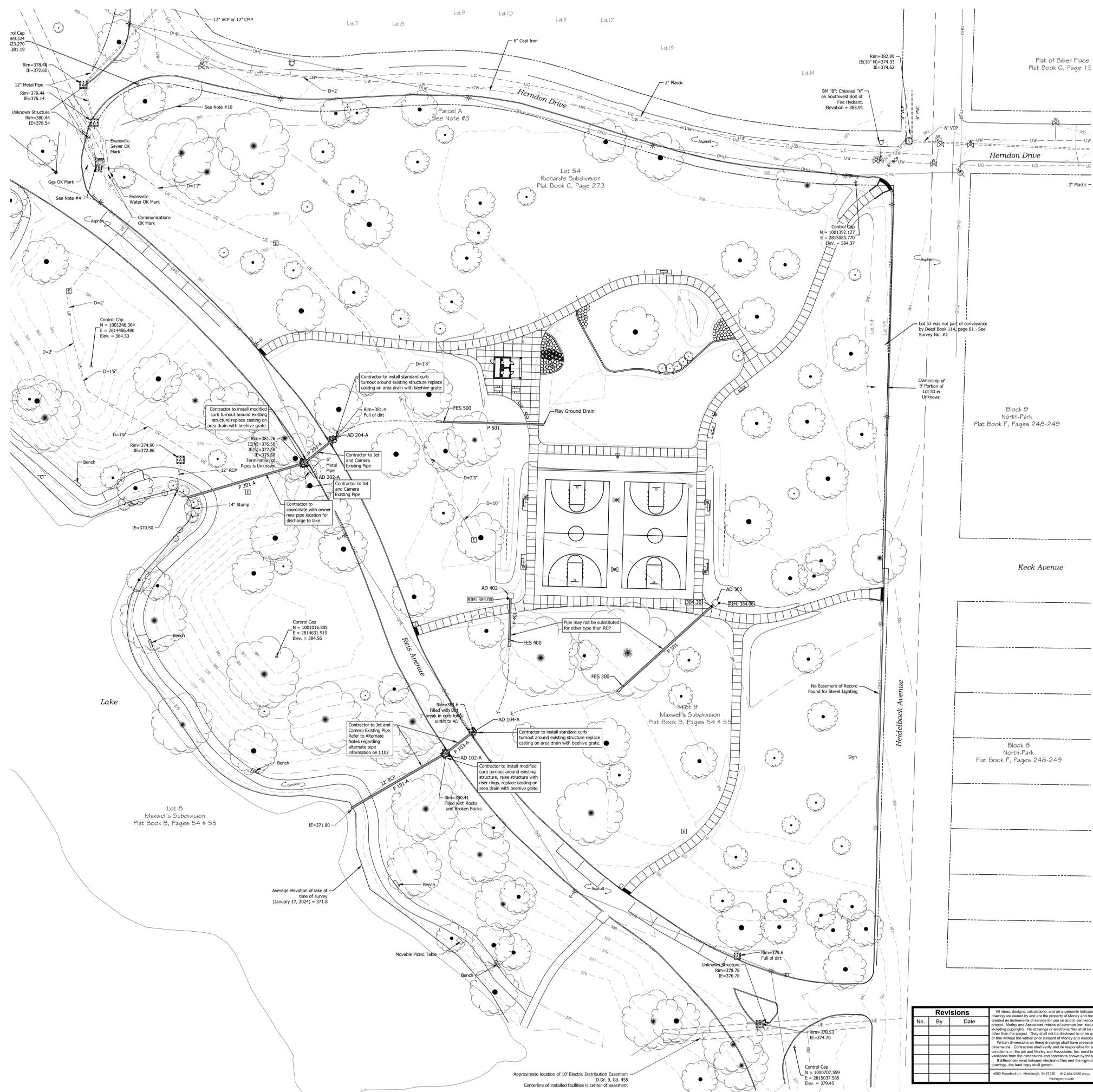


Client: Hafer <b>Partial Retracement and Topographic Survey</b> Garvin Park Evansville, Indiana		Scale: 1" = 50' Job Number: 12683.1.001A Date: 2/12/2024 12683 Civil Base <b>C101</b>
Project: Partial Retracement and Topographic Survey Sheet Title:	Designed By: J.E.V. Drawn By: J.E.V. File Name: 12683 Civil Base Sheet Number:	



SCALE 1" = 30'

30 0 30 60



**Alternate Drainage Notes**

1. Contractor to jet and camera existing pipes/structures as part of bid alternate number 2.
2. Contractor to verify existing pipes size, condition, and inverts.
3. Contractor is to coordinate with Owner/Engineer on size, condition, inverts of pipes to determine ability to reuse. If existing pipes are not able to meet the alternate pipes sized in the Pipe Data Table on C102, contractor to coordinate with Owner on replacement of existing pipes.
4. Contractor to coordinate with owner on location of discharge pipe from AD 202.
5. Pipes and Structures labeled with "A" will be covered by Change Order, subject to Unit Prices.

Storm Structure Data Table				
Name	Description	Pipes In	Pipes Out	AD / MH = Rim CI = FG
AD 102-A	Area Drain	P 103-A, 12" Reinforced Concrete Pipe Invert Elevation = 373.73	P 101-A, 12" Reinforced Concrete Pipe Invert Elevation = 373.73	381.16
AD 104-A	Area Drain		P 103-A, 12" Reinforced Concrete Pipe Invert Elevation = 374.17	381.60
AD 202-A	Existing Area Drain	P 203-A, 12" Reinforced Concrete Pipe Invert Elevation = 375.58	P 201-A, 12" Reinforced Concrete Pipe Invert Elevation = 375.58	381.26
AD 204-A	Existing Area Drain		P 203-A, 12" Reinforced Concrete Pipe Invert Elevation = 375.78	381.40
AD 302	Area Drain		P 301, 12" Reinforced Concrete Pipe Invert Elevation = 382.35	384.00
AD 402	Area Drain		P 401, 12" Reinforced Concrete Pipe Invert Elevation = 382.43	384.00
FES 300	Flared End Section	P 301, 12" Reinforced Concrete Pipe Invert Elevation = 382.10		--
FES 400	Flared End Section	P 401, 12" Reinforced Concrete Pipe Invert Elevation = 382.25		--
FES 500	Flared End Section	P 501, 12" Reinforced Concrete Pipe Invert Elevation = 383.25		--
Play Ground Drain	Fittings By Others		P 501, 12" Reinforced Concrete Pipe Invert Elevation = 383.65	--

Storm Pipe Data Table						
Pipe Name	Size and Type	Length	Slope	US IE	DS IE	Start Structure / End Structure
P 101-A	12" RCP	85.92'	2.25%	373.73	371.80	AD 102-A / Garvin Lake
P 103-A	12" RCP	24.99'	1.76%	374.17	373.73	AD 104-A / AD 102-A
P 201-A	12" RCP	95.05'	5.34%	375.58	370.50	AD 202-A / Garvin Lake
P 203-A	12" RCP	27.96'	0.72%	375.78	375.58	AD 204-A / AD 202-A
P 301	12" RCP	98.16'	0.25%	382.35	382.10	AD 302 / FES 300
P 401	12" RCP	35.01'	0.51%	382.43	382.25	AD 402 / FES 400
P 501	12" RCP	78.93'	0.51%	383.65	383.25	Play Ground Drain / FES 500

Revisions		
No.	By	Date



Project: Garvin Park Phase 2

Sheet Title: Civil

45 Don Mattingly Way  
Evansville, IN 47711

Scale: 1" = 30'

Job Number: 12683.1.002-A

Designed By: JEM  
Drawn By: WAF  
Date: 05.02.2025

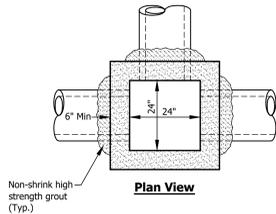
12683 Civil Base

Sheet Number: **C102**

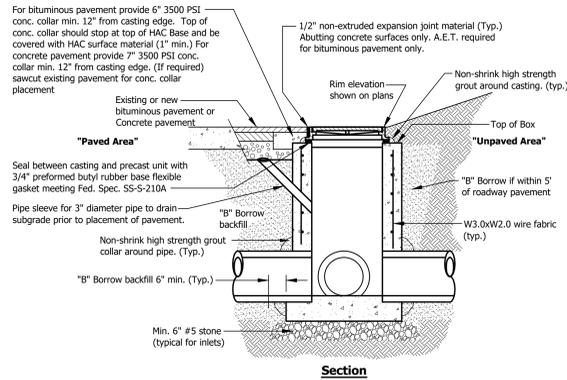


Approximate location of 10' Electric Distribution Easement  
D.Dr. 9, Cd. 455  
Centerline of installed facilities is center of easement



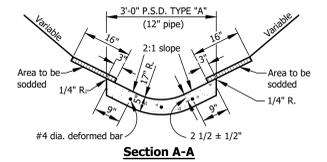
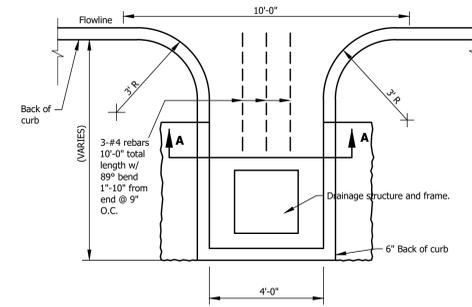


- Notes:**
- For Area Inlet in pavement East Jordan #8306 casting or equal with Type M grate. For Area Inlet in non-paved areas: East Jordan #6500 casting, or equal, with adapter ring.
  - For Manhole East Jordan #8306 casting with Type A solid cover or equal. Contractor may substitute East Jordan #1022-1 casting with Type A solid cover, or equal.
  - All connecting pipes shall be grouted with a high strength non-shrink grout.
  - Precast box shall conform to ASTM C-478.
  - Reinforcement shall be 3" x 6" W3.0xW2.0 wire fabric for precast units.
  - The inlet shall be backfilled with "B" Borrow and mechanically compacted in 6" lifts to 95% of standard density ASTM 698.



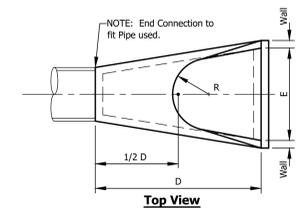
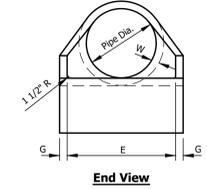
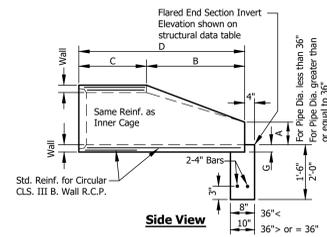
**24" x 24" Precast Box**

No Scale



**Modified Curb Turnout**

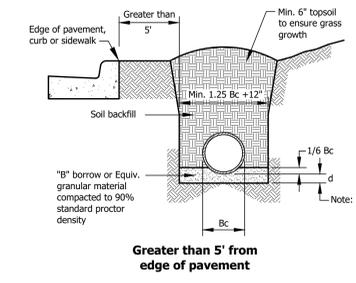
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PIPE DIA.	WGT. (LBS)	WALL	A	B	C	D	E	G	R	SLOPE
12"	530	2 1/4"	8"	2-1/4"	4'-1 1/2"	6'-1 3/4"	1'-11 3/4"	2 1/4"	9"	2:1
15"	900	2 1/4"	9"	2-3/4"	3'-10"	6'-1"	2'-6"	2 1/4"	11"	2:1
18"	1000	2 1/2"	11 1/2"	2-3/4"	3'-10"	6'-1"	3'-0"	2 1/2"	1'-0"	2:1
21"	1280	2 3/4"	10"	2-1 1/2"	3'-2"	6'-1"	3'-6"	2 3/4"	1'-1"	2:1
24"	1600	2 3/4"	1'-0"	3'-8"	2'-6"	6'-2"	4'-0"	2 3/4"	1'-2"	2:1
27"	1930	3 1/4"	10 1/2"	4'-0"	2'-1 1/2"	6'-1 1/2"	4'-6"	3 1/4"	1'-2 1/2"	3:1
30"	2250	3 1/2"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	3 1/2"	1'-3"	3:1
33"	3200	3 3/4"	1'-1 1/2"	4'-10 1/2"	3'-3 1/4"	8'-1 3/4"	5'-6"	3 3/4"	1'-5 1/2"	3:1
36"	4480	4"	1'-4 3/4"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	4"	1'-8"	3:1
42"	5380	4 1/2"	1'-9"	5'-3"	2'-11"	8'-2"	6'-6"	4 1/2"	1'-10"	3:1
48"	6550	5"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	5"	1'-10"	3:1
54"	8240	5 1/2"	2'-3"	5'-5"	2'-11"	8'-4"	7'-6"	5 1/2"	2'-0"	2:1
60"	8780	6"	2'-11"	5'-0"	3'-3"	8'-3"	8'-0"	5"	2-11"	2:1
66"	10710	6 1/2"	2'-6"	6'-0"	2'-3"	8'-3"	8'-6"	5 1/2"	*	2:1
72"	12520	7"	3'-0"	6'-6"	1'-9"	8'-3"	9'-0"	6"	*	1.86:1
78"	14770	7 1/2"	3'-0"	7'-6"	1'-9"	9'-3"	9'-6"	6 1/2"	*	1.82:1
84"	18160	8"	3'-0"	7'-6 1/2"	1'-9"	9'-3 1/2"	10'-0"	6 1/2"	*	1.5:1

**Concrete End Section**

No Scale



**Depth of Bedding Material Below Pipe**

(d) Min.

27" & Smaller 3"

30" to 60" 4"

66" & Larger 6"

**Legend:**

Bc = Outside Diameter

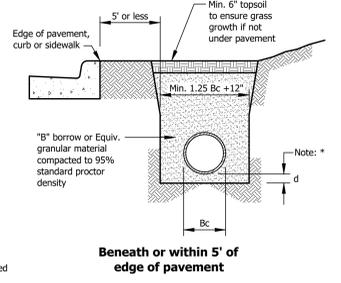
D = Inside Diameter

d = Depth of Bedding Material Below Pipe

**Note: \***

All bedding & initial backfill shall be installed in 6" to 12" balanced lifts.

A minimum 9" of clearance shall be provided on each side of the installed pipe.



**Reinforced Concrete Pipe Storm Sewer Bedding**

No Scale

<p><b>Revisions</b></p> <table border="1"> <thead> <tr> <th>No.</th> <th>By</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>			No.	By	Date																<p>All ideas, designs, calculations, and arrangements indicated or represented by this drawing are owned by and are the property of Morley and Associates, Inc. and were created as instruments of service for use on and in connection with the specified project. Morley and Associates retains all common law, statutory law and other rights, including copyright. No drawings or electronic files shall be reused for any purpose other than the project. They shall not be disclosed to or be used by any other person or firm without the written consent of Morley and Associates, Inc.</p> <p>Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and Morley and Associates, Inc. must be notified of any variations from the dimensions and conditions shown by these drawings.</p> <p>If differences exist between electronic files and the signed and sealed hard copy drawings, the hard copy shall govern.</p> <p>4800 Rosebud Ln., Newburgh, IN 47030 812.464.9565 (fax) 812.464.2514 (m) morleycorp.com</p>			<p>Project: <b>Garvin Park Phase 2</b></p> <p>Scale: <b>N/A</b></p> <p>Job Number: <b>12683.1.002-A</b></p> <p>Designed By: <b>JEM</b> Date: <b>05.02.2025</b></p> <p>Drawn By: <b>WAF</b></p> <p>Project: <b>Civil</b></p> <p>Project: <b>Drainage Details</b></p> <p>Project: <b>45 Don Mattingly Way</b></p> <p>Project: <b>Evansville, IN 47711</b></p> <p>Project: <b>12683 Civil Base</b></p> <p>Sheet Number: <b>C501</b></p>		
No.	By	Date																								





GARVIN PARK  
45 DON MATTINGLY WAY,  
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**EROSION CONTROL NOTES:**

1. MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE SITE, AND COMPLY WITH THE REQUIREMENTS OF THE PLAN AT ALL TIMES FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUBSTANTIAL COMPLETION.
2. DO NOT COMMENCE EARTH MOVING ACTIVITIES UNTIL 48 HOURS AFTER BEEN NOTICED OF INTENT HAS BEEN MAILED, AS DIRECTED BY ARCHITECT.
3. PROVIDE SHEET FLOW SEDIMENT CONTROL MEASURES AT THE PERIMETER OF ALL SOIL STOCKPILE AREAS ON AND OFF SITE.
4. INSTALL EROSION CONTROL FEATURES IN CONFORMANCE WITH THE IDEM STORM WATER QUALITY MANUAL, LATEST EDITION, AT ALL LOCATIONS REQUIRED TO PREVENT POLLUTION OF STORMWATER FROM CONSTRUCTION OPERATIONS, WHETHER OR NOT INDICATED ON THIS PLAN.
5. PREPARE A SPILL PREVENTION AND REMEDIATION PLAN, SUBMIT THE PLAN TO THE OWNER FOR APPROVAL, AND MAINTAIN A COPY AT THE SITE AT ALL TIMES. REMOVE SOILS AND OTHER MATERIALS CONTAMINATED BY SPILLS IMMEDIATELY AND IN CONFORMANCE WITH THE PLAN.
6. IMMEDIATELY REPAIR VEHICLES, MATERIAL STORAGE CONTAINERS, PORTABLE RESTROOMS OR ANY OTHER EQUIPMENT THAT IS LEAKING.
7. DURING PERIODS OF DRY WEATHER, SPRAY DISTURBED GROUND WITH WATER AS FREQUENTLY AS NEEDED TO PREVENT WINDBORNE DUST.
8. GRADE RUTTED AND MUDDY AREAS TO PREVENT STANDING WATER, AND INSTALL TEMPORARY ROCK IN AREAS WHERE CONSTRUCTION TRAFFIC CAUSES SIGNIFICANT SOIL DISTURBANCE.
9. LOCATE TRASH BARRELS LIBERALLY AROUND THE SITE. REMOVE AND DISPOSE OF LITTER AND CONSTRUCTION DEBRIS WITHIN THE CONSTRUCTION AREA BOUNDARY ON A WEEKLY BASIS AT A MINIMUM. REMOVE ALL CONSTRUCTION LITTER AND DEBRIS THAT IS SCATTERED BEYOND THE PERIMETER SECURITY FENCE ON A DAILY BASIS.
10. SWEEP ADJACENT ROADS TO REMOVE MUD FROM CONSTRUCTION OPERATIONS ON A WEEKLY BASIS. DO NOT CLEAN ROADS BY SPRAYING WITH WATER.
11. SWPPP COMPLIANCE SHALL BE DISCUSSED AS AN AGENDA ITEM AT ALL REGULARLY SCHEDULED PROGRESS MEETINGS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE SWPPP AND SHALL INSPECT THE SITE ON A WEEKLY BASIS FOR DEFICIENCIES. THE CONTRACTOR SHALL PROVIDE WRITTEN REPORTS IN A STANDARD FORMAT FOR ALL WEEKLY INSPECTIONS AND SHALL SUBMIT THESE REPORTS TO THE OWNER AND ARCHITECT.
13. REPAIR EXISTING AND INSTALL ADDITIONAL SWPPP FEATURES AS DIRECTED BY THE OWNER AND ARCHITECT IF INSTALLED FEATURES PROVE TO BE INADEQUATE, DETERIORATE, OR OTHERWISE BECOME INEFFECTIVE. ADDITIONAL FEATURES MAY BE REQUIRED BY GOVERNMENTAL AUTHORITIES. PROVIDE ALL ADDITIONAL FEATURES AS DIRECTED BY GOVERNMENTAL AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER.
14. LINE SWALES AND COVER SLOPES EXCEEDING 6% WITH BIODEGRADABLE EROSION CONTROL FABRIC IN ALL LOCATIONS SUBJECT TO WASHOUT, WHETHER INDICATED ON THESE PLANS OR NOT. INSTALL TEMPORARY OR PERMANENT LAWN SEED IN SWALES AND ON SLOPES IMMEDIATELY AFTER EARTHWORK IS COMPLETE.
15. PROVIDE SILT FENCE, COMPOST FILTER SOCKS OR ROCK DAMS FOR EROSION CONTROL PROTECTION AT ALL STORM DRAIN CULVERT OUTLETS.

**REFERENCE NOTES:**

- 1 CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
- 2 SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
- 3 STORM DRAIN INLET PROTECTION. REFER TO 5/EC2.1.
- 4 CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
- 5 TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
- 6 VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
- 7 SOIL STOCKPILE AREA.
- 8 SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
- 9 TREE PROTECTION ZONE.
- 10 REMOVE SITE FEATURE.
- 11 REMOVE AND SALVAGE SITE FEATURE.
- 12 REMOVE CONCRETE CURB.
- 13 REMOVE CONCRETE PAVEMENT.
- 14 REMOVE ASPHALT PAVEMENT.
- 15 EXISTING WALK OR PAVEMENT TO REMAIN.
- 16 REMOVE TREE.
- 17 REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
- 18 ASPHALT PAVEMENT.
- 19 CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1A/2.1, 4A/2.1.
- 20 CONCRETE PAVEMENT, T=5", REFER TO DETAIL 1A/2.1.
- 21 ACCESSIBLE CURB RAMP. REFER TO 6A/2.1.
- 22 ATHLETIC SURFACING AND STRIPING.
- 23 BASKETBALL GOAL. REFER TO 10A/2.1.
- 24 EXPANSION JOINT. REFER TO 2A/2.1, 3A/2.1.
- 25 CONCRETE CURB, 6"x18", REFER TO 7A/2.1.
- 26 CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
- 27 THICKENED SLAB EDGE. REFER TO 11A/2.1.
- 28 NEW STORM DRAINAGE FEATURES. REFER TO C102.
- 29 CONCRETE CURB, 10"x18", REFER TO 9A/2.1.
- 30 SITE FURNITURE - NOT IN CONTRACT.
- 31 BACKFILL WITH PLANTING SOIL.
- 32 STONE EDGING REFER TO 15A/2.1.
- 33 RESTORE LAWN AREA. SEED AND MULCH.
- 34 EROSION CONTROL FIBER MESH.
- 35 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP, EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

**GENERAL DEMOLITION NOTES:**

1. FIELD VERIFY ALL EXISTING CONDITIONS AND THE EXTENT OF DEMOLITION WORK REQUIRED.
2. NOTIFY ARCHITECT IMMEDIATELY IF EXISTING SITE CONDITIONS INCONSISTENT WITH THESE DRAWINGS ARE ENCOUNTERED THAT WOULD REQUIRE ALTERATION OF DESIGNED FEATURES.
3. THE SIZES AND LOCATIONS OF EXISTING FEATURES INDICATED ON THIS DRAWING ARE APPROXIMATE. THE CONTRACTOR SHALL TAKE INTO ACCOUNT IN PREPARING HIS BID THAT VARIATIONS IN EXISTING FEATURES ENCOUNTERED IN THE FIELD WILL OCCUR.
4. REMOVE ALL MATERIALS IN THE WAY OF NEW CONSTRUCTION WHETHER OR NOT SPECIFICALLY INDICATED ON THESE DRAWINGS.
5. PROTECT ALL BENCHMARKS, SURVEY MONUMENTS AND RELATED FEATURES FROM DAMAGE OR DISPLACEMENT DURING DEMOLITION AND CONSTRUCTION. IF ANY SUCH FEATURES ARE DISTURBED, CONTRACTOR SHALL BEAR THE COST OF REPLACEMENT BY A LICENSED SURVEYOR, SUBJECT TO THE APPROVAL OF THE ARCHITECT.
6. CONTACT ALL UTILITY COMPANIES AND PROVIDE LOCATOR SERVICES TO VERIFY LOCATIONS OF UNDERGROUND UTILITIES.
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15. REFER TO THE LANDSCAPE PLAN FOR REQUIREMENTS RELATED TO FINISH GRADING, TREE PROTECTION AND LAWN RESTORATION WHICH SHALL APPLY TO ALL AREAS AFFECTED BY DEMOLITION WORK.

Revisions:

Designed By:	Drawn By:	Checked By:
D.E.	R.H.	D.E.

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Sheet Title:  
**DEMOLITION AND EROSION CONTROL PLAN**

Architect's Project No. 2402-146 Date: MAY, 2025

Drawing No:

**EC1.1**



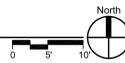
**DEMOLITION AND EROSION CONTROL PLAN**  
1" = 30'-0"





**DEMOLITION PLAN - RESTROOM BUILDING**

1" = 10'-0"



**EROSION CONTROL NOTES:**

1. MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE SITE, AND COMPLY WITH THE REQUIREMENTS OF THE PLAN AT ALL TIMES FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUBSTANTIAL COMPLETION.
2. DO NOT COMMENCE EARTH MOVING ACTIVITIES UNTIL 48 HOURS AFTER IDEM NOTICE OF INTENT HAS BEEN MAILED, AS DIRECTED BY ARCHITECT.
3. PROVIDE SHEET FLOW SEDIMENT CONTROL MEASURES AT THE PERIMETER OF ALL SOIL STOCKPILE AREAS ON AND OFF SITE.
4. INSTALL EROSION CONTROL FEATURES IN CONFORMANCE WITH THE IDEM STORM WATER QUALITY MANUAL, LATEST EDITION, AT ALL LOCATIONS REQUIRED TO PREVENT POLLUTION OF STORMWATER FROM CONSTRUCTION OPERATIONS, WHETHER OR NOT INDICATED ON THIS PLAN.
5. PREPARE A SPILL PREVENTION AND REMEDIATION PLAN, SUBMIT THE PLAN TO THE OWNER FOR APPROVAL, AND MAINTAIN A COPY AT THE SITE AT ALL TIMES. REMOVE SOILS AND OTHER MATERIALS CONTAMINATED BY SPILLS IMMEDIATELY AND IN CONFORMANCE WITH THE PLAN.
6. IMMEDIATELY REPAIR VEHICLES, MATERIAL STORAGE CONTAINERS, PORTABLE RESTROOMS OR ANY OTHER EQUIPMENT THAT IS LEAKING.
7. DURING PERIODS OF DRY WEATHER, SPRAY DISTURBED GROUND WITH WATER AS FREQUENTLY AS NEEDED TO PREVENT WINDBORNE DUST.
8. GRADE RUTTED AND MUDDY AREAS TO PREVENT STANDING WATER, AND INSTALL TEMPORARY ROCK IN AREAS WHERE CONSTRUCTION TRAFFIC CAUSES SIGNIFICANT SOIL DISTURBANCE.
9. LOCATE TRASH BARRELS LIBERALLY AROUND THE SITE, REMOVE AND DISPOSE OF LITTER AND CONSTRUCTION DEBRIS WITHIN THE CONSTRUCTION AREA BOUNDARY ON A WEEKLY BASIS AT A MINIMUM. REMOVE ALL CONSTRUCTION LITTER AND DEBRIS THAT IS SCATTERED BEYOND THE PERIMETER SECURITY FENCE ON A DAILY BASIS.
10. SWEEP ADJACENT ROADS TO REMOVE MUD FROM CONSTRUCTION OPERATIONS ON A WEEKLY BASIS. DO NOT CLEAN ROADS BY SPRAYING WITH WATER.
11. SWPPP COMPLIANCE SHALL BE DISCUSSED AS AN AGENDA ITEM AT ALL REGULARLY SCHEDULED PROGRESS MEETINGS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE SWPPP AND SHALL INSPECT THE SITE ON A WEEKLY BASIS FOR DEFICIENCIES. THE CONTRACTOR SHALL PROVIDE WRITTEN REPORTS IN A STANDARD FORMAT FOR ALL WEEKLY INSPECTIONS AND SHALL SUBMIT THESE REPORTS TO THE OWNER AND ARCHITECT.
13. REPAIR EXISTING AND INSTALL ADDITIONAL SWPPP FEATURES AS DIRECTED BY THE OWNER AND ARCHITECT IF INSTALLED FEATURES PROVE TO BE INADEQUATE, DETERIORATE, OR OTHERWISE BECOME INEFFECTIVE. ADDITIONAL FEATURES MAY BE REQUIRED BY GOVERNMENTAL AUTHORITIES. PROVIDE ALL ADDITIONAL FEATURES AS DIRECTED BY GOVERNMENTAL AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER.
14. LINE SWALES AND COVER SLOPES EXCEEDING 6% WITH BIODEGRADABLE EROSION CONTROL FABRIC IN ALL LOCATIONS SUBJECT TO WASHOUT, WHETHER INDICATED ON THESE PLANS OR NOT. INSTALL TEMPORARY OR PERMANENT LAWN SEED IN SWALES AND ON SLOPES IMMEDIATELY AFTER EARTHWORK IS COMPLETE.
15. PROVIDE SILT FENCE, COMPOST FILTER SOCKS OR ROCK DAMS FOR EROSION CONTROL PROTECTION AT ALL STORM DRAIN CULVERT OUTLETS.

**REFERENCE NOTES:**

- 1 CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
- 2 SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
- 3 STORM DRAIN INLET PROTECTION, REFER TO 5/EC2.1.
- 4 CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
- 5 TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
- 6 VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
- 7 SOIL STOCKPILE AREA.
- 8 SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
- 9 TREE PROTECTION ZONE.
- 10 REMOVE SITE FEATURE.
- 11 REMOVE AND SALVAGE SITE FEATURE.
- 12 REMOVE CONCRETE CURB.
- 13 REMOVE CONCRETE PAVEMENT.
- 14 REMOVE ASPHALT PAVEMENT.
- 15 EXISTING WALK OR PAVEMENT TO REMAIN.
- 16 REMOVE TREE.
- 17 REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
- 18 ASPHALT PAVEMENT.
- 19 CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1/2.1, 4/2.1.
- 20 CONCRETE PAVEMENT, T=6", REFER TO DETAIL 1/2.1.
- 21 ACCESSIBLE CURB RAMP, REFER TO 6/2.1.
- 22 ATHLETIC SURFACING AND STRIPING.
- 23 BASKETBALL GOAL, REFER TO 10/2.1.
- 24 EXPANSION JOINT, REFER TO 2/2.1, 3/2.1.
- 25 CONCRETE CURB, 6"x18", REFER TO 7/2.1.
- 26 CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
- 27 THICKENED SLAB EDGE, REFER TO 11/2.1.
- 28 NEW STORM DRAINAGE FEATURES, REFER TO C102.
- 29 CONCRETE CURB, 10"x18", REFER TO 9/2.1.
- 30 SITE FURNITURE - NOT IN CONTRACT.
- 31 BACKFILL WITH PLANTING SOIL.
- 32 STONE EDGING REFER TO 15/2.1.
- 33 RESTORE LAWN AREA, SEED AND MULCH.
- 34 EROSION CONTROL FIBER MESH.
- 35 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1" DEEP, EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

**GENERAL DEMOLITION NOTES:**

1. FIELD VERIFY ALL EXISTING CONDITIONS AND THE EXTENT OF DEMOLITION WORK REQUIRED.
2. NOTIFY ARCHITECT IMMEDIATELY IF EXISTING SITE CONDITIONS INCONSISTENT WITH THESE DRAWINGS ARE ENCOUNTERED THAT WOULD REQUIRE ALTERATION OF DESIGNED FEATURES.
3. THE SIZES AND LOCATIONS OF EXISTING FEATURES INDICATED ON THIS DRAWING ARE APPROXIMATE. THE CONTRACTOR SHALL TAKE INTO ACCOUNT IN PREPARING HIS BID THAT VARIATIONS IN EXISTING FEATURES ENCOUNTERED IN THE FIELD WILL OCCUR.
4. REMOVE ALL MATERIALS IN THE WAY OF NEW CONSTRUCTION WHETHER OR NOT SPECIFICALLY INDICATED ON THESE DRAWINGS.
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**GARVIN PARK ACTIVITY ZONE**



GARVIN PARK  
45 DON MATTINGLY WAY,  
EVANSVILLE, IN 47711

**HAFER**  
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*Daniel Engelbrecht*

**Revisions:**

Designed By: D.E.	Drawn By: R.H.	Checked By: D.E.
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**Sheet Title:**

**DEMOLITION PLAN -  
RESTROOM BUILDING**

Architect's Project No. 2402-146 Date: MAY, 2025

**Drawing No:**

**EC1.2**



**WEST ELEVATION**  
NO SCALE



**SOUTH ELEVATION**  
NO SCALE



**EAST ELEVATION**  
NO SCALE



Storm Water Pollution Prevention Plan

Assessment of Construction Plan Elements Section A

A-1 Plan Index showing location of required items: Refer to Cover Sheet for Drawing Index.

A-2 Vicinity Map: Refer to Cover Sheet for Vicinity Map.

A-3 Narrative describing the nature and purpose of the project: Activity Zone Improvements include the following:

- Construction of a children's playground with lighting
Construction of a 374 sq ft restroom building
Construction of a 1000 sq ft building with lighting (alternate 1)
Construction of paved walkways for access to the Activity Zone
Cleaning and repair of four existing area drains (alternate 2)
Demolition of an existing masonry restroom building
Alternates will only be constructed if budget allows

A-4 Latitude and Longitude: Latitude: 37° 52' 46" N Longitude: 87° 33' 42" W

A-5 Legal Description of the Project Site: Township: 6S Range: 10W Section: 1705 (29W)

A-6 11x17-inch plot showing building lot numbers / boundaries and road layout / names: Pigeon Creek Roadway, 1150' west Pigeon Creek Road Zone A, Elevation: 1070' west

A-7 Boundaries of the 110-year floodplains, floodway fringes and floodways: Pigeon Creek Roadway, 1150' west Pigeon Creek Road Zone A, Elevation: 1070' west

A-8 Land use of all adjacent properties: North: single family residential East: single family residential South: maintained public park West: public park, unimproved woodlands

A-9 Identification of a U.S. EPA approved or established TMDL: None

A-10 Name of the receiving water: Pigeon Creek via Garvin Park Lake

A-11 Identification of discharges to a water on the current 303(d) list of impaired waters and the pollutants to which it is impaired: Pigeon Creek - dissolved oxygen, nutrients, PCBs in fish, biological integrity

A-12 Soils map of the predevelopment soil types: Refer to Attached - USDA Soil Survey.

A-13 Identification and location of all known wetlands, lakes, and water courses on or adjacent to the project site: Pigeon Creek 1150' west of site - Garvin Park Lake 150' south of site

A-14 Identification of any other state or federal water quality permits or authorizations that are required for construction activities: none

A-15 Identification and delineation of existing cover, including natural buffers: Parkland site with maintained open lawn and shaded open lawn.

A-16 Existing site topography at an interval appropriate to indicate drainage patterns: Refer to C101 Topographic Survey.

A-17 Locations where runoff enters the site: The new site is slightly elevated relative to surrounding terrain, excepting to the north where the open lawn area is tied to Herndon Avenue. It is not apparent that any runoff enters the site beyond the project boundaries.

A-18 Locations where run-off discharges from the project site prior to land disturbance: Storm water that falls on the Activity Zone drains across the lawn area toward the south / southwest at a slope of 2% to the Reels Avenue driveway that separates the Activity Zone from Garvin Park Lake. Two existing area drains at the curb collect runoff which is conveyed by pipe under the driveway to Garvin Park Lake. The area drains and pipes are significantly clogged causing periodic standing water in a shaded lawn area between the Activity Zone site and the driveway and in the north gutter zone of the driveway.

A-19 Locations of all existing structures on the project site: Stormwater that falls at the restroom demolition site drains to an existing area drain located at the curb of the Richard Avenue driveway. It is not determined whether this area drain discharges directly to Pigeon Creek or Garvin Park Lake.

A-20 Existing permanent retention or detention facilities, including manmade wetlands, designed for the purpose of stormwater management: Garvin Park Lake functions as a detention facility for runoff from the Activity Zone and other areas of the Park.

A-21 Locations where stormwater may be directly discharged into ground water, such as abandoned wells, shafts, or septic facilities: No such locations are known to exist on the project site.

A-22 Size of the project in acres: 3 acres

A-23 Total expected land disturbance expressed in acres: Playground and restroom area: .38 acres Basketball area (alt. 1): .80 acres Stormwater detention area: .10 acres Storm drain repair area (alt. 2): .12 acres

A-24 Proposed Final Topography: Refer to L1.1 Grading Plan.

A-25 Locations and approximate boundaries of all disturbed areas: Refer to EC-1.1 for Activity Zone disturbed area. Refer to EC-1.2 for Restroom Demolition disturbed areas.

A-26 Locations, size and dimensions of all stormwater drainage system such as ditches, stormwater sewer, and conveyance channels: Refer to C101.

A-27 Locations of specific points where stormwater and non-stormwater discharges will leave the project site: Stormwater will leave the site via two existing 12" diameter concrete sewer pipes crossing the Reels Avenue driveway into Garvin Park Lake. Refer to C102.

A-28 Location of all proposed site improvements, including roads, utilities, lot delineation and identification, proposed structures, and common areas: Refer to L1.1 Hardscape Plan.

A-29 Location of all on-site and off-site soil stockpiles and borrow areas: Refer to EC-1.1 for on site soil stockpile location. There will be no off-site soil stockpile locations.

A-30 Construction support activities that are expected to be part of the project: No support activities are anticipated.

A-31 Location of any in-stream activities that are planned for the project including, but not limited to stream crossing and pump-around: No in-stream activities are anticipated.

Stormwater Pollution Prevention - Construction Component Section B

B-1 Description of the potential pollutant generating sources and pollutants, including all potential non-stormwater discharges: Potential pollutant sources include: oil and gas spillage from construction vehicles, wildfire dust, soil sediment, litter, concrete residues, sanitary waste from temporary restrooms, fertilizers, pesticides, construction debris, chemical residue dripping from stored containers, landscaping mulch and staking soil.

B-2 Stable construction entrance locations and specifications: Refer to EC-1.1 for location of construction entrance. Refer to Detail 2/EC2.1 for construction details.

B-3 Specifications for temporary and permanent stabilization: Refer to EC2.1.

B-4 Sediment control measure for concentrated flow areas: There are no ditches, swales or other concentrated flow areas existing or planned on this project site. If a concentrated flow area were to develop, a rock check dam would be employed to mitigate impact.

B-5 Sediment control measures for sheet flow areas: Sheet flow occurs and will increase in the vicinity of the new pavements. Refer to EC-1.1 and EC1.2 for locations of silt fence and vegetated buffer zones. Refer to detail 1/EC2.1 for silt fence specifications.

B-6 Run-off control measures: For containment, the contractor is required to maintain a continuous vegetated buffer zone at the perimeter of the project work area. Sediment control measures shall be employed in all locations as the need becomes apparent.

B-7 Stormwater outlet protection location and specifications: Storm pipes will continue to discharge into Garvin Park Lake below the water level of the lake, negating the need for outlet protection features.

B-8 Grade stabilization structure locations and specifications: No grade stabilization structures are anticipated to be necessary on this project.

B-9 Dewatering operations and management methods: No significant deep excavations are anticipated. Dewatering methods if needed will be the responsibility of the contractor at temporary facilities. Any such activities will be developed to prevent sediment from leaving the site.

B-10 Measures utilized for work within waterways: Not applicable to this project.

B-11 Maintenance guidelines for each proposed stormwater quality measure: The Contractor shall always keep a copy of this SWPPP on the on-site office for the duration of the project. The Contractor may employ alternative methods for stormwater pollution prevention based on the United States Environmental Protection Agency (EPA) General Construction Permit Manual (BMPs), and the Indiana Storm Water Quality Manual of BMPs, subject to approval.

B-12 Planned construction sequence that describes the implementation of stormwater quality measures in relation to land disturbing activities: Phase 1, prior to site clearing and earthmoving

B-13 Construction Component Section C: C-1 Description of pollutants and their sources associated with the proposed land use: The completed project will include a one-story restroom building, 2 basketball courts, walkways, lighting and related features.

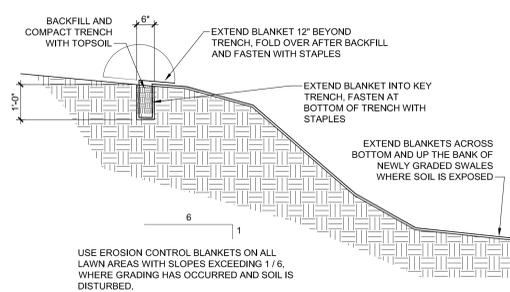
C-2 Description of proposed post construction storm water quality measures: In general, the existing patterns of stormwater flow in the park will not change significantly due to the development of the new Activity Zone. This project benefits from the natural setting in which it is located and the intention of the design is to take advantage of the existing natural features to minimize the negative impact of new pavements and therefore minimize the construction footprint.

C-3 Plan details for each stormwater measure: Refer to C501

C-4 Sequence describing storm water quality measure implementation: Remove temporary sheet flow erosion barriers only after lawn areas are well established and it is verified that erosion is no longer a threat to water quality.

C-5 Maintenance guidelines for proposed post construction stormwater measures: Erosion and sediment pollution will be visible on pavements and lawn areas which will be monitored by the Parks Department's maintenance staff.

C-6 Entity that will be responsible for operation and maintenance of the post-construction stormwater measures: City of Evansville Department of Parks and Recreation.



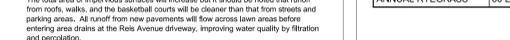
SECTION - EROSION CONTROL BLANKET



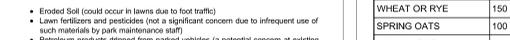
SECTION - TEMPORARY CONSTRUCTION ACCESS PAD



SECTION - ROCK CHECK DAM



PLAN - DROP INLET PROTECTION



INSTALLATION: 1. USE TYPE AND WEIGHT OF EROSION CONTROL BLANKET PER SPECIFICATION TO FIT THE SITE CONDITIONS (E.G. SLOPE, CHANNEL, FLOW VELOCITY) PER THE MANUFACTURER'S SPECIFICATION.

INSTALLATION: 1. LOCATE SILT BARRIER ON THE DOWN SLOPE BORDERS OF ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS.

INSTALLATION: 1. GRADE THE BASIN AREA FREE OF ROCKS AND OTHER DEBRIS THAT MAY CAUSE TEARS OR PUNCTURES IN THE LINING.

INSTALLATION: 1. TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.

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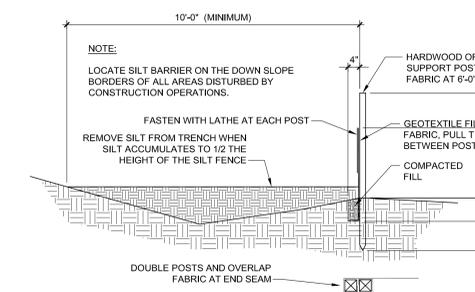
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SECTION - SILT FENCE SEDIMENT BARRIER



SECTION - TEMPORARY CONSTRUCTION ACCESS PAD



SECTION - ROCK CHECK DAM



PLAN - DROP INLET PROTECTION



INSTALLATION: 1. LAYOUT FENCE LOCATION PARALLEL TO THE CONTOURS OF THE SLOPE AND IF BEYOND THE TOP OF SLOPE, WITH EDGES OF FENCE RETURNING UP SLOPE TO A POINT WHERE BOTTOM OF FENCE IS AT SAME ELEVATION AS TOP OF SLOPE AT LOWEST ELEVATION.

INSTALLATION: 1. GRADE THE BASIN AREA FREE OF ROCKS AND OTHER DEBRIS THAT MAY CAUSE TEARS OR PUNCTURES IN THE LINING.

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GARVIN PARK ACTIVITY ZONE



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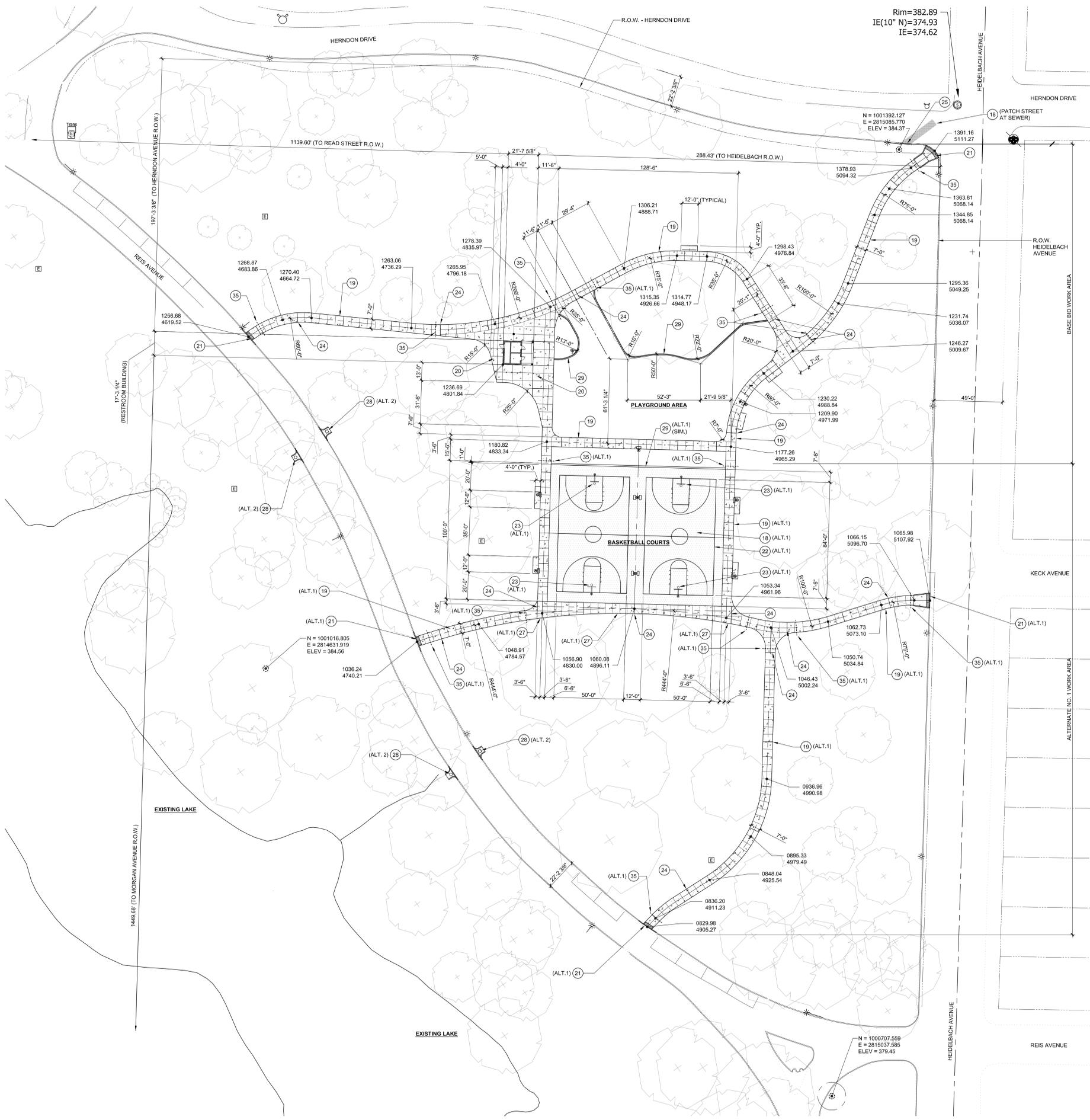
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**CONSTRUCTION SCHEDULE:**  
 CONSTRUCTION OF WALKS, CURBS, GRADING AND RELATED WORK IN THE BASE BID AREA IN THE VICINITY OF THE NEW PLAYGROUND SHALL BE SUBSTANTIALLY COMPLETE BEFORE SEPTEMBER 1, 2025. NEW PLAYGROUND EQUIPMENT WILL BE INSTALLED UNDER SEPARATE CONTRACT ON THAT DATE. CONTRACTOR SHALL COORDINATE WITH THE PLAYGROUND EQUIPMENT INSTALLER TO EXPEDITE THE COMPLETION OF THE PLAYGROUND EQUIPMENT WORK AND TO PROTECT INSTALLED WORK OF THE GENERAL CONTRACT. ONCE PLAYGROUND EQUIPMENT INSTALLATION IS COMPLETE, THE CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES AS NECESSARY TO PROTECT THE PLAYGROUND EQUIPMENT FROM DAMAGE CAUSED BY ONGOING CONSTRUCTION WORK UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT.

- REFERENCE NOTES:**
- CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
  - SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
  - STORM DRAIN INLET PROTECTION. REFER TO 5/EC2.1.
  - CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
  - TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
  - VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
  - SOIL STOCKPILE AREA.
  - SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
  - TREE PROTECTION ZONE.
  - REMOVE SITE FEATURE.
  - REMOVE AND SALVAGE SITE FEATURE.
  - REMOVE CONCRETE CURB.
  - REMOVE CONCRETE PAVEMENT.
  - REMOVE ASPHALT PAVEMENT.
  - EXISTING WALK OR PAVEMENT TO REMAIN.
  - REMOVE TREE.
  - REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
  - ASPHALT PAVEMENT.
  - CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1A/2.1, 4A/2.1.
  - CONCRETE PAVEMENT, T=5", REFER TO DETAIL 1A/2.1.
  - ACCESSIBLE CURB RAMP. REFER TO 6A/2.1.
  - ATHLETIC SURFACING AND STRIPING.
  - BASKETBALL GOAL. REFER TO 10A/2.1.
  - EXPANSION JOINT. REFER TO 2A/2.1, 3A/2.1.
  - CONCRETE CURB, 6"x18", REFER TO 7A/2.1.
  - CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
  - THICKENED SLAB EDGE. REFER TO 11A/2.1.
  - NEW STORM DRAINAGE FEATURES. REFER TO C102.
  - CONCRETE CURB, 10"x18", REFER TO 9A/2.1.
  - SITE FURNITURE - NOT IN CONTRACT.
  - BACKFILL WITH PLANTING SOIL.
  - STONE EDGING REFER TO 15A/2.1.
  - RESTORE LAWN AREA, SEED AND MULCH.
  - EROSION CONTROL FIBER MESH.
  - 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP. EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

- GENERAL HARDSCAPE NOTES:**
- FIELD VERIFY ALL EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED FOR THE NEW CONSTRUCTION SHOWN.
  - CONTACT UTILITY COMPANIES TO VERIFY LOCATIONS OF ALL UTILITIES ABOVE AND BELOW GROUND. EXISTING UTILITIES SHALL BE LOCATED AND PROTECTED UNLESS NOTED TO BE REMOVED OR ABANDONED.
  - PROTECT EXISTING PAVEMENT TO REMAIN AND MAINTAIN TRAFFIC DURING CONSTRUCTION.
  - REPLACE ALL DRIVES, WALKS, CURBS, STREET PAVEMENT, ETC. DAMAGED DURING CONSTRUCTION, AND MATCH EXISTING MATERIALS AS MINIMUM REQUIREMENTS.
  - PROVIDE EXPANSION AND CONTROL JOINTS IN WALKS AND CURBS AT 30'-0" O.C. JOINTS IN SIDEWALKS SHALL CONTINUE ACROSS AND DOWN THE FACE OF CURBS.
  - PROVIDE ISOLATION AND SEALANT JOINTS IN ALL LOCATIONS WHERE CONCRETE SLABS ABUT STRUCTURES, BUILDINGS, WALLS AND OTHER VERTICAL SITE FEATURES.
  - ADJUST ELEVATIONS OF ALL STRUCTURES TO REMAIN, (IE, MANHOLES, METERS, COVERS, CATCH BASINS, CLEANOUTS, DRAINS, ETC.) TO BE FLUSH WITH NEW PAVEMENT OR NEW FINISHED GRADE.
  - UNLESS NOTED OTHERWISE, PROVIDE A LIGHT BROOM FINISH FOR ALL EXTERIOR CONCRETE PAVEMENT AND CURBS.
  - CURB RADII FOR WALKS SHALL BE 7'-0" UNLESS NOTED OTHERWISE.
  - ALL DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF CURB, EDGE OF PAVEMENT OR CENTERLINE UNLESS NOTED OTHERWISE.

**AREA PLAN COMMISSION:**

BASE AREA, EXISTING BUILDING:	0 SF
BASE AREA, NEW BUILDING:	374 SF
HEIGHT OF NEW BUILDING:	13'-6"
NUMBER OF STORIES, NEW BUILDING:	1
NUMBER OF EMPLOYEES:	0
NUMBER OF COMPANY VEHICLES:	0
NUMBER OF SEATS:	N.A.
PARKING REQUIRED:	N.A.
PARKING PROVIDED:	0
FLOOD ZONE:	X

**GARVIN PARK ACTIVITY ZONE**



GARVIN PARK  
 45 DON MATTINGLY WAY,  
 EVANSVILLE, IN 47711



Revisions:

Designed By: D.E.	Drawn By: R.H.	Checked By: D.E.
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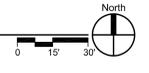
Sheet Title:  
**HARDSCAPE PLAN**

Architect's Project No. 2402-146 Date: MAY, 2025

Drawing No:

**L1.1**

**HARDSCAPE PLAN**  
 1" = 30'-0"







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**PLANT SCHEDULE**

REF	TYPE	SCIENTIFIC NAME	COMMON NAME	SIZE / CONTAINER	NOTES	SPACING	REMARKS
AMIS S	GC	AMSONIA TABERNAEMONTANA 'SHORTSTACK'	MONTANA BLUESTAR	#1 POT	M-1	1'-6" O.C.	
AMIS T	GC	AMSONIA TABERNAEMONTANA	MONTANA BLUESTAR	#1 POT	4, M-1	2'-0" O.C.	
BAP S	GC	BAPTISIA SPHAEROCARPA 'SCREAMIN YELLOW'	YELLOW WILD INDIGO	2'-0"W x 2'-0" H	M-1	3'-6" O.C.	
CAR C	TM	CARPINUS CAROLINIANA	AMERICAN HORNBEEAM	2 1/2" CALIPER	3,4		
COR V	GC	COREOPSIS VERTICILLATA 'ZAGREB'	THREADEAF COREOPSIS	#1 POT	M-1	1'-6" O.C.	
COR F	TF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	DOGWOOD	2 1/2" CALIPER	3,4		
ECH P	GC	ECHINACEA PURPUREA 'PICA BELLA'	PURPLE CONEFLOWER	#1 POT	M-1	2'-0" O.C.	
ITE V	SH	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA SWEETSPIRE	2'-0"W x 2'-0" H	M-3	4'-0" O.C.	
JUN H	SE	JUNIPERUS HORIZONTALIS 'PLUMOSA'	CREEPING JUNIPER	2'-6"W x 1'-0" H	M-6	4'-0" O.C.	
PAN V	OG	PANICUM VIRGATUM 'NORTHWIND'	SWITCH GRASS	#2 POT	M-1	2'-0" O.C.	
SPO H	OG	SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSEED	#1 POT	M-1	2'-0" O.C.	

**MAINTENANCE NOTES:**

- M-1 CUT BACK TO ROOT FLAIR OR CLUMP IN WINTER.
- M-2 DO NOT OVERWATER, ONCE ESTABLISHED.
- M-3 PRUNE AFTER FLOWERING.
- M-4 PRUNE ROOT SUCKERS.
- M-5 PRUNE IN SUMMER ONLY.
- M-6 NATURAL FORM DO NOT PRUNE.
- M-7 PRUNE IN LATE WINTER.
- M-8 MOW TWICE ANNUALLY.
- M-9 WATER TWICE WEEKLY DURING DRY WEATHER.
- M-10 MULCH OVER ROOT ZONE IN SUMMER.
- M-11 MULCH OVER ROOT ZONE IN WINTER.

**PLANT TYPES:**

- TM TREE, MEDIUM SIZE
- TL TREE, LARGE SIZE
- TF FLOWERING TREE
- SH SHRUB - FLOWERING
- SE SHRUB - EVERGREEN
- GC GROUND COVER
- OG ORNAMENTAL GRASS

**PLANT SCHEDULE NOTES:**

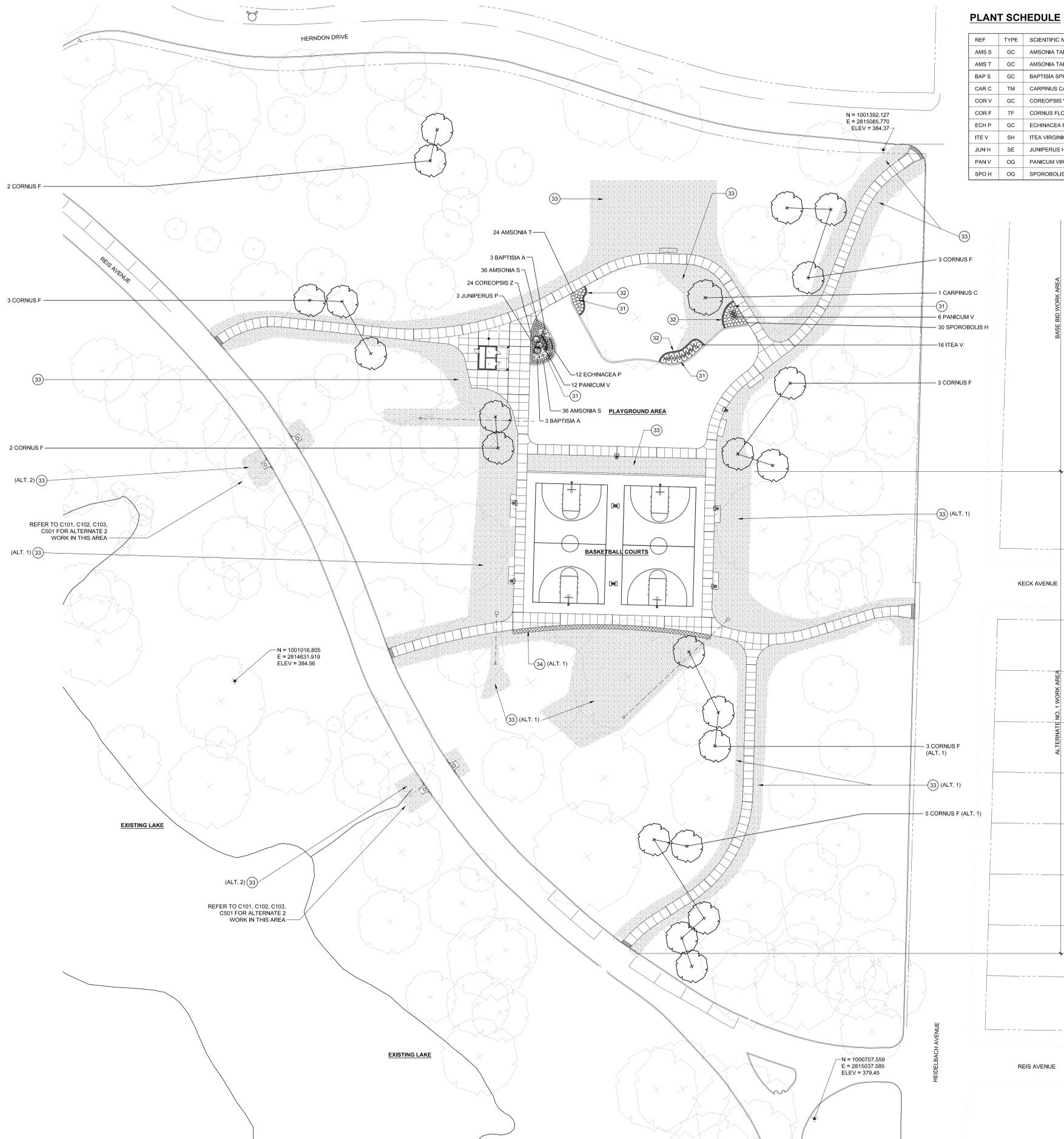
- 1. USE SPHAGNUM PEAT IN LIEU OF COMPOST IN PLANTING SOIL AND MULCH.
- 2. BACKFILL WITH 50% SAND AND 50% PLANTING SOIL.
- 3. BALL AND BURLAP.
- 4. NATIVE SPECIES, NO SUBSTITUTIONS
- 5. ORGANIC MULCH IN LIEU OF STONE MULCH.

**REFERENCE NOTES:**

- 1 CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
- 2 SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
- 3 STORM DRAIN INLET PROTECTION. REFER TO 5/EC2.1.
- 4 CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
- 5 TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
- 6 VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
- 7 SOIL STOCKPILE AREA.
- 8 SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
- 9 TREE PROTECTION ZONE.
- 10 REMOVE SITE FEATURE.
- 11 REMOVE AND SALVAGE SITE FEATURE.
- 12 REMOVE CONCRETE CURB.
- 13 REMOVE CONCRETE PAVEMENT.
- 14 REMOVE ASPHALT PAVEMENT.
- 15 EXISTING WALK OR PAVEMENT TO REMAIN.
- 16 REMOVE TREE.
- 17 REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
- 18 ASPHALT PAVEMENT.
- 19 CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1/1L2.1, 4/1L2.1.
- 20 CONCRETE PAVEMENT, T=5", REFER TO DETAIL 1/1L2.1.
- 21 ACCESSIBLE CURB RAMP, REFER TO 6/1L2.1.
- 22 ATHLETIC SURFACING AND STRIPING.
- 23 BASKETBALL GOAL, REFER TO 10/1L2.1.
- 24 EXPANSION JOINT, REFER TO 2/1L2.1, 3/1L2.1.
- 25 CONCRETE CURB, 6"x18", REFER TO 7/1L2.1.
- 26 CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
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- 28 NEW STORM DRAINAGE FEATURES, REFER TO C102.
- 29 CONCRETE CURB, 10"x18", REFER TO 9/1L2.1.
- 30 SITE FURNITURE - NOT IN CONTRACT.
- 31 BACKFILL WITH PLANTING SOIL.
- 32 STONE EDGING REFER TO 15/1L2.1.
- 33 RESTORE LAWN AREA, SEED AND MULCH.
- 34 EROSION CONTROL FIBER MESH.
- 35 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP, EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

**TREE SUMMARY:**

BASE BID:	LIVE TREES REMOVED:	7
	DEAD TREES REMOVED:	1
	NEW TREES PLANTED:	13
ALTERNATE NO. 1:	LIVE TREES REMOVED:	4
	DEAD TREES REMOVED:	1
	NEW TREES PLANTED:	8



**LANDSCAPE PLAN**  
1" = 30'-0"



**GENERAL LANDSCAPE NOTES:**

- 1. LAYOUT ALL PLANTING LOCATIONS FOR APPROVAL OF THE ARCHITECT PRIOR TO INSTALLATION OF PLANTS. FINAL PLANT LOCATIONS MIGHT VARY FROM LOCATIONS INDICATED ON THIS DRAWING.
- 2. AFTER INSTALLATION OF TREES AND SHRUBS PROVIDE FINISH GRADING FOR ALL PLANTED AREAS, WITH POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WALKS, PRIOR TO INSTALLATION OF SOD, LAWN SEED, GROUND COVERS AND MULCH. ENSURE THAT THERE IS NO STANDING WATER IN LAWN OR PLANTING AREAS.
- 3. NEW LAWN AREAS SHALL BE SEEDED AND MULCHED, UNLESS SPECIFICALLY INDICATED TO BE SOD.
- 4. SEED, MULCH AND RENOVATE ALL EXISTING LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES THAT ARE NOT INDICATED FOR NEW LAWN.
- 5. MARK OUTLINE OF PLANTER BEDS ON GROUND FOR ARCHITECT'S REVIEW. DO NOT INSTALL WITHOUT ARCHITECT'S APPROVAL.
- 6. REMOVE ALL EXISTING WEEDS IN AREAS WHERE NEW LAWN, PLANT BEDS, AND LAWN RESTORATION WILL OCCUR BEFORE COMMENCING INSTALLATION OF PLANTS.
- 7. PERFORM FINISH GRADING PER SPECIFICATION 312001, PERFORM SOIL PREPARATION PER SPECIFICATION 329113.
- 8. AFTER INSTALLATION, PERFORM EXTENDED MAINTENANCE OF TREES AND SHRUBS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO PERMANENTLY ESTABLISH HEALTHY VIABLE PLANTINGS. PROVIDE TEMPORARY IRRIGATION IF NEEDED TO ESTABLISH LAWN.
- 9. PLANTING SOIL, LAWN INSTALLATION AND LAWN RESTORATION SHALL BE INCLUDED IN THE BASE BID.
- 10. TREES, SHRUBS AND EDGINGS SHALL BE INCLUDED IN ALTERNATE 3.

Revisions:

Designed By: D.E. | Drawn By: R.H. | Checked By: D.E.

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Sheet Title:

**LANDSCAPE PLAN**

Architect's Project No. 2402-146 | Date: MAY, 2025

Drawing No:

**L1.3**



*Daniel B. Engelbrecht*

