GARVIN PARK VICINITY PLAN

NO SCALE

North

<u>Mayor's Office</u>

Stephanie Terry, Mayor
Lindsay Snyder, Deputy Mayor

<u>Board of Park Commissioners</u>

Wayne Kinney
John Bates
Derrick Cleon
Reese A. Hamilton
Janice K. Davies

<u>Department of Parks and Recreation</u>

Danielle Crook - Executive Director
Paul Bouseman - Deputy Director

GARVIN PARK ACTIVITY ZONE

GARVIN PARK
45 DON MATTINGLY WAY
EVANSVILLE, IN 47711

DEPARTMENT OF PARKS AND RECREATION
CITY OF EVANSVILLE

IFB-508-02-2025

Project No. 2402-146
Date: May, 2025

HAFER
architects ▪ designers ▪ engineers

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05/06/2025

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05/06/2025

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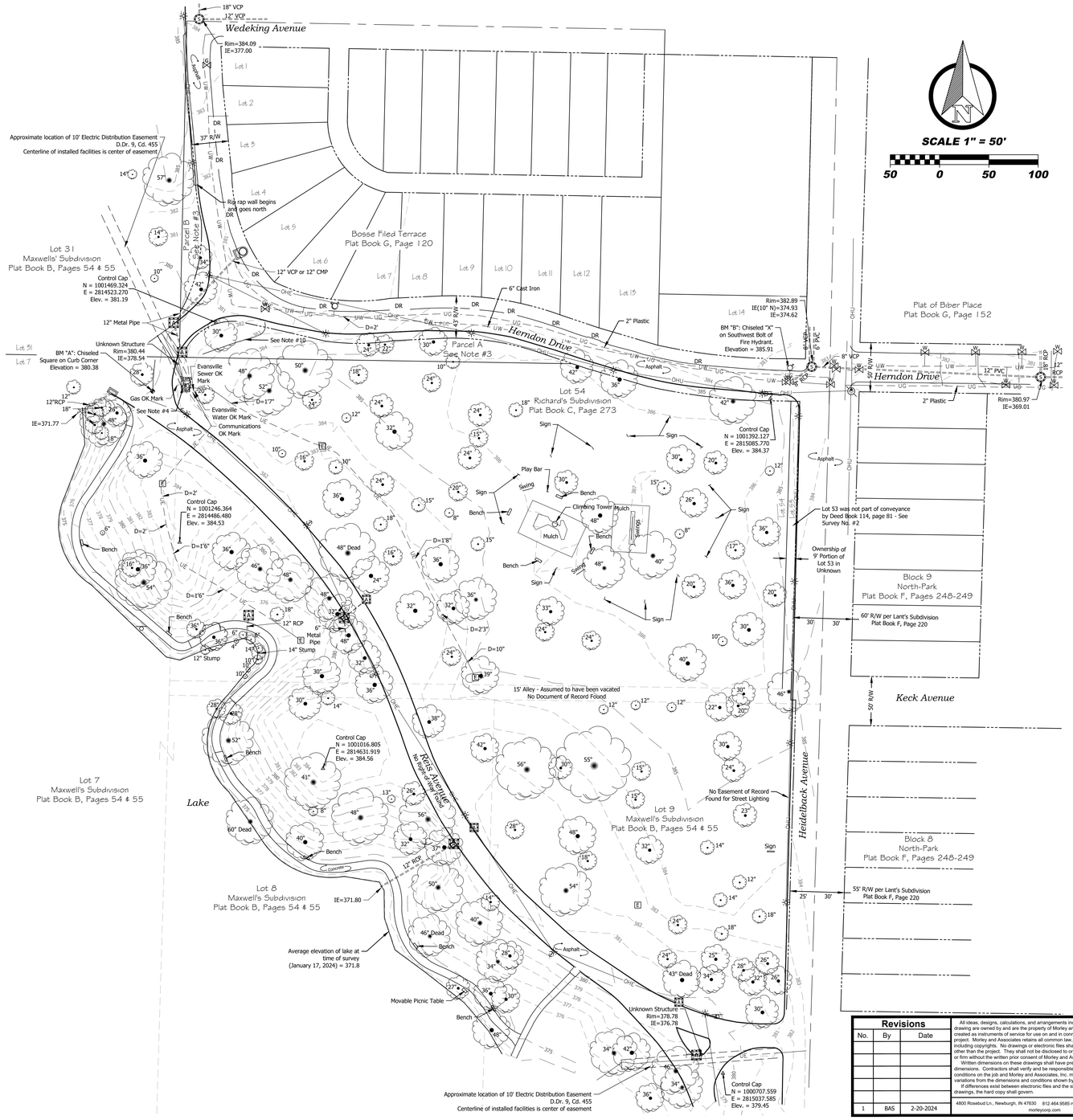
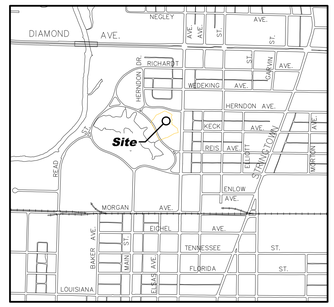


Legend

- Area Drain
- Curb Inlet
- Electric Junction Box
- Electric Meter
- Electric Transformer
- Fire Hydrant
- Gas Valve
- Guy Wire
- Light Pole
- Sanitary Sewer Manhole
- Sign
- Water Valve
- DR — Driveway
- D=X' — Depth of Utility line per Underground Detective
- Center Line
- Right-of-way Line
- OHE — Overhead Electric
- OHU — Overhead Utilities
- UE — Underground Electric
- UG — Underground Gas
- UW — Underground Water



Location Map

Survey Notes:

1. Project Scope: Provide a topographic survey showing road right of ways and easements based upon limited boundary data found in the field. This survey does not represent a Retracement Survey to I.A.C. Title 865 Retracement Standards.
2. The surveyed area was part of the area conveyed to the City of Evansville and is of record in Deed Book 114, Page 81. Lots 7, 8 & 9 and part of Lot 31 of Maxwell's Subdivision and Lot 54 of Richard's Subdivision, which are all part of this survey, were part of the conveyance. No documentation for ownership for a 9' strip off the west end of Lot 53 of Richard's Subdivision, and replatted as part of Lant's Subdivision, being along the east side of the surveyed area, could be located.
3. Parcels A & B on the survey, being areas south and west of Herndon Drive were dedicated to the City of Evansville in the plat of Bosse Field Terrace, Plat Book G, Page 120.
4. Easements were searched for by using Tapestry/Laredo. No easements were found in the surveyed area. It is believed that there may be an easement for the transformer located at the northwest corner of the site.
5. Horizontal Coordinates: Indiana State Plane West 1302 NAD 83 (US Feet)
6. Vertical Datum: NAVD 1988 based upon OPUS observation on December 21, 2023
7. This survey plat does not represent evidence as to the location of underground features such as coal, oil, gas, tanks, wells or any other rights or claims that may exist underground and no claim or liability is expressed by the surveyor.
8. This survey plat does not purport to indicate any evidence of hazardous or environmentally injurious materials and the surveyor expressly disclaims any responsibility or liability for the same.
9. This survey plat may indicate the possible presence of underground utility services. All underground utility lines or features shown hereon are based on visible above ground features and or paint markings placed on the ground by the underground locate service and or maps provided by the operating companies. Additional underground utilities may exist, and their locations may vary from those shown. All contractors are required by law to contact the underground locate services prior to any digging or disturbance of the surface. Call 811. 3 locates were placed on-line. The Confirmation numbers for those tickets are as follows: #2401181962 placed for the entire site; #2401260129 for pavement of Herndon Drive west of Heidelbach Ave.; and 2402065338 for pavement of Herndon Dr. east of Heidelbach Ave.
10. Underground Detective located private utilities for the survey. Their work was completed on January 29, 2024 and included the electric lines feeding easterly off the transformer at the west side of the survey. A line of unknown use was found north of the transformer near the intersection of Herndon Drive and the entrance into the park.
11. Morley and its employees have made no attempt to physically locate underground features such as footings and other underground improvements.
12. This survey is based on documentation provided or found at the time of the survey. Any document or information that may be provided later may change the surveyor's opinion as to the location of the lines and features shown on this survey.
13. No cemeteries, grave sites, burial grounds or head stones were observed during the course of the fieldwork.
14. Control cap = 5/8" steel rebar with orange plastic cap stamped "Morley Control".
15. Sizes of utilities shown are per utility maps and 811 dig ticket notes.

Revisions		
No.	By	Date
1	BAS	2-20-2024

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Project:

Client: Hafer

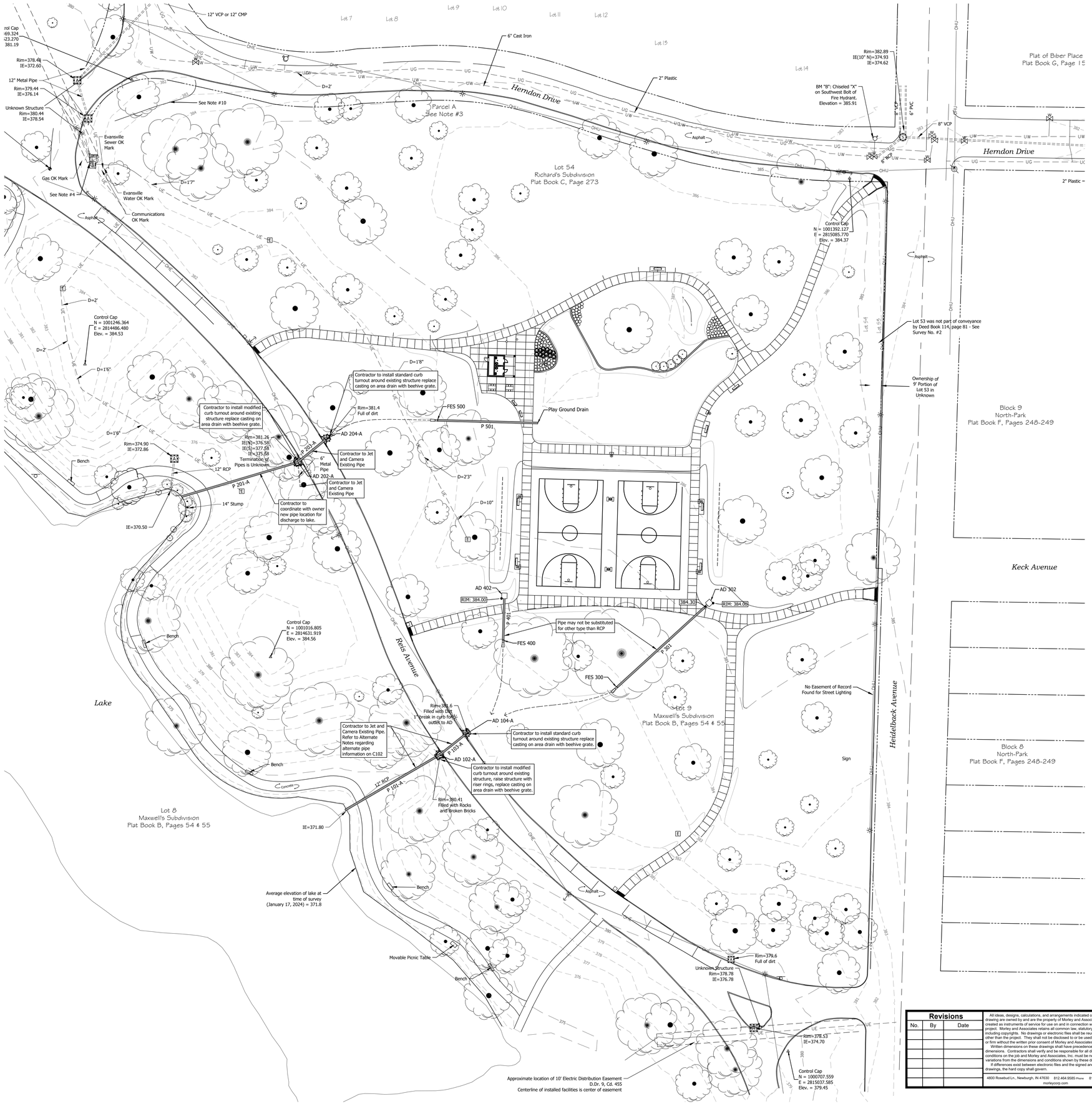
Sheet Title:

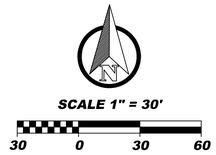
Partial Retracement and Topographic Survey

Garvin Park
Evansville, Indiana

Scale: 1" = 50'

Designed By: B.A.S.	Job Number: 12683.1.001A
Drawn By: J.E.V.	Date: 2/12/2024
Filename: 12683 Civil Base	
Sheet Number: **C101**	





Alternate Drainage Notes

1. Contractor to jet and camera existing pipes/structures as part of bid alternate number 2.
2. Contractor to verify existing pipes size, condition, and inverts.
3. Contractor is to coordinate with Owner/Engineer on size, condition, inverts of pipes to determine ability to reuse. If existing pipes are not able to meet the alternate pipes sized in the Pipe Data Table on C102, contractor to coordinate with Owner on replacement of existing pipes.
4. Contractor to coordinate with owner on location of discharge pipe from AD 202.
5. Pipes and Structures labeled with "-A" will be covered by Change Order, subject to Unit Prices.

Storm Structure Data Table

Name	Description	Pipes In	Pipes Out	AD / MH = Rim CI = FG
AD 102-A	Area Drain	P 103-A, 12" Reinforced Concrete Pipe Invert Elevation = 373.73	P 101-A, 12" Reinforced Concrete Pipe Invert Elevation = 373.73	381.16
AD 104-A	Area Drain		P 103-A, 12" Reinforced Concrete Pipe Invert Elevation = 374.17	381.60
AD 202-A	Existing Area Drain	P 203-A, 12" Reinforced Concrete Pipe Invert Elevation = 375.58	P 201-A, 12" Reinforced Concrete Pipe Invert Elevation = 375.58	381.26
AD 204-A	Existing Area Drain		P 203-A, 12" Reinforced Concrete Pipe Invert Elevation = 375.78	381.40
AD 302	Area Drain		P 301, 12" Reinforced Concrete Pipe Invert Elevation = 382.35	384.00
AD 402	Area Drain		P 401, 12" Reinforced Concrete Pipe Invert Elevation = 382.43	384.00
FES 300	Flared End Section	P 301, 12" Reinforced Concrete Pipe Invert Elevation = 382.10		--
FES 400	Flared End Section	P 401, 12" Reinforced Concrete Pipe Invert Elevation = 382.25		--
FES 500	Flared End Section	P 501, 12" Reinforced Concrete Pipe Invert Elevation = 383.25		--
Play Ground Drain	Fittings By Others		P 501, 12" Reinforced Concrete Pipe Invert Elevation = 383.65	--

Storm Pipe Data Table

Pipe Name	Size and Type	Length	Slope	US IE	DS IE	Start Structure	End Structure
P 101-A	12" RCP	85.92'	2.25%	373.73	371.80	AD 102-A	Garvin Lake
P 103-A	12" RCP	24.99'	1.76%	374.17	373.73	AD 104-A	AD 102-A
P 201-A	12" RCP	95.05'	5.34%	375.58	370.50	AD 202-A	Garvin Lake
P 203-A	12" RCP	27.96'	0.72%	375.78	375.58	AD 204-A	AD 202-A
P 301	12" RCP	98.16'	0.25%	382.35	382.10	AD 302	FES 300
P 401	12" RCP	35.01'	0.51%	382.43	382.25	AD 402	FES 400
P 501	12" RCP	78.93'	0.51%	383.65	383.25	Play Ground Drain	FES 500

Revisions		
No.	By	Date

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Project: Garvin Park Phase 2

Sheet Title: **Civil**
Drainage Plan
45 Don Mattingly Way
Evansville, IN 47711

Scale: 1" = 30'
Designed By: JEM
Job Number: 12683.1.002-A
Drawn By: WAF
Date: 05.02.2025
Filename: 12683 Civil Base
Sheet Number: **C102**


12" VCP or 12" CMP
Lot 7
Lot 8
Lot 9
Lot 10
Lot 11
Lot 12
Lot 13
Lot 14
Plat of Biber Place
Plat Book G, Page 15
Rim=378.48
IE=372.60
12" Metal Pipe
Rim=379.44
IE=376.14
Unknown Structure
Rim=380.44
IE=378.54
D=2'
6" x 1" Tapping Sleeve
Corp Stop
Stop Valve (DW15 and DW20)
Herndon Drive
Parcel A
See Note #3
1" Water Meter (DW20)
End of EWSU Responsibility
Rim=382.89
IE(10" N)=374.93
IE=374.62
BM "B": Chiseled "X" on Southwest Bolt of Fire Hydrant. Elevation = 385.91
8" VCP
6" PVC
Evansville Sewer OK Mark
Gas OK Mark
Evansville Water OK Mark
Communications OK Mark
Trans
D=1'7"
1-1/2" PVC Water Service Line
Anticipated Domestic Flow Demand: 35 GPM @ 50 PSI
Lot 54
Richard's Subdivision
Plat Book C, Page 273
Cleanout at Property Line. End of EWSU Responsibility
Contractor to verify location and connect proposed 6" lateral to existing 8" sanitary sewer.
Asphalt
100.0' Max. Spacing Between Cleanouts
CO
45° Bend
±408' of 6" Sanitary Sewer Lateral
D=2'
D=1'6"
Cleanout within 3' of building
D=1'8"
Rim=381.4
Full of dirt
AD 204-A
FES 500
P 501
Play Ground Drain
Rim=381.26
IE(N)=376.58
IE(S)=377.58
IE=375.58
Termination of Pipes is Unknown
6" Metal Pipe
P 203-A
AD 202-A
Rim=374.90
IE=372.86
Bench
12" RCP
P 201-A
14" Stump
IE=370.50
D=2'3"
D=10"
Block 9
North-Park
Plat Book F, Pages 248-249
Lot 54
Lot 55
Keck Avenue
AD 402
P 401
FES 400
AD 302
P 301
FES 300
Reis Avenue
Lake
Lot 9
Maxwell's Subdivision
Plat Book B, Pages 54 & 55
Rim=381.6
Filled with Dirt
1" break in curb for outlet to AD
AD 104-A
P 103-A
AD 102-A
12" RCP
P 101-A
Rim=380.41
Filled with Rocks and Broken Bricks
IE=371.80
Concrete
Lot 8
Maxwell's Subdivision
Plat Book B, Pages 54 & 55
Heidelback Avenue
Sign
Block 8
North-Park
Plat Book F, Pages 248-249
Movable Picnic Table
Rim=379.6
Full of dirt
Unknown Structure
Rim=378.78
IE=376.78
Rim=378.53
IE=374.70
Approximate location of 10' Electric Distribution Easement
D.Dr. 9, Cd. 455
Centerline of installed facilities is center of easement

SCALE 1" = 30'

30 0 30 60

Proposed Legend

- Sanitary Sewer Lateral
- Water Service Line
- CO Sanitary Sewer Cleanout

EWSU Water Services - General Notes

1. Contractor shall comply with all local, state and federal codes, ordinances, rules, regulations, orders and other legal requirements of municipal authorities which bear on the performance of the work, which may not be recognized on the approved plan set.
2. The contractor is cautioned that the location and / or elevation of existing utilities, as shown on these plans, is based on records of various utility companies, and where possible measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must contact the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. Contractor shall locate existing utilities and establish elevations and clearances with proposed improvements prior to initiating construction. Indiana underground utility locate service (IUPPS) phone: 811.
3. Material specifications shall be in conformance with applicable portions of the IDEM standard specifications, (latest edition) unless specifically stated otherwise on these plans, contract documents, or EWSU Water and Sewer Manual.
4. All water service taps shall be witnessed by an EWSU inspector. The contractor is to provide a minimum of 48 hour notice (Inspector, 812-708-0502) before construction commences.
5. Minimum of 18 inch vertical and 10 feet horizontal clearance to be maintained between water lines and sewer lines.
6. Minimum separation between any water services shall be four feet, as measured from outside of pipe to outside of pipe.
7. Any required easement shall be recorded and provided prior to start of construction.
8. Taps shall be installed at the approved plan locations. Any desired location changes shall be approved by the EWSU utility inspector. Taps are not to be made within four feet of any other tap or fitting. No taps shall be made within two feet of any pipe joint.
9. No services to be installed within eight feet of any side property line. All service lines from main to property line valve or meter shall run perpendicular to the main. Deflections of service line shall only occur after the EWSU property line valve or meter.
10. For Gate Valve operating nuts that are going to be deeper than five feet, Contractor shall provide stainless steel extensions.
11. Any water use for interior fire protection or irrigation purposes shall be identified to EWSU prior to implementation for verification of proper Backflow Prevention.
12. Owner/Developer/Applicant/Contractor shall secure permits from the City of Evansville Engineer's office (812-436-4973) for the work to be performed in the public road or alley right-of-way
13. CALL BEFORE YOU DIG - BURIED LINE LOCATION - CALL 811

EWSU Sanitary Sewer Tap/Connection - General Notes

1. Contractor shall comply with all local, state and federal codes, ordinances, rules, regulations, orders and other legal requirements of municipal authorities which bear on the performance of the work, which may not be recognized on the approved plan set.
2. The contractor is cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of various utility companies, and where possible measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must contact the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. Contractor shall locate existing utilities and establish elevations and clearances with proposed improvements prior to initiating construction. Indiana underground utility locate service (IUPSS) phone: 811.
3. Material specifications shall be in conformance with applicable portions of the IDEM standard specifications, (latest edition) unless specifically stated otherwise on these plans, contract documents, or EWSU water and sewer manual.
4. All sanitary sewer tap/connections shall be witnessed by an EWSU inspector. The contractor is to provide a minimum of 48 hour notice (Len Will, 812-305-7514) before construction commences.
5. Minimum of 18 inch vertical and 10 feet horizontal clearance to be maintained between water lines and sewer lines.
6. Minimum depth of cover for sanitary sewer laterals is 3 feet to top of pipe.
7. Any required easement shall be recorded and provided prior to start of construction.
8. Taps shall be installed at the approved plan locations. Any desired location changes shall be approved by the EWSU utility inspector. Taps not to be made within 6 feet of any other tap. No taps or laterals to be made within 3 feet of any property line. No taps or laterals to be made within 6 feet of any utility pole or component.
9. Bypass pumping and/or other methods may be necessary to complete the tapping of the existing sanitary sewers. The contractor is responsible for adhering to the Evansville Sewer Overflow Response Plan (SORP) as it has to do with sewer overflow responsibilities.

JAMES E. MORLEY
REGISTERED
No. 10100250
STATE OF
INDIANA
PROFESSIONAL ENGINEER

[illegible]
5-2-25

Revisions		
No.	By	Date

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Project: Garvin Park Phase 2

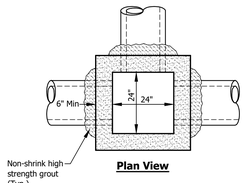
Sheet Title:

Civil

Utility Plan
45 Don Mattingly Way
Evansville, IN 47711

Scale: 1" = 30'

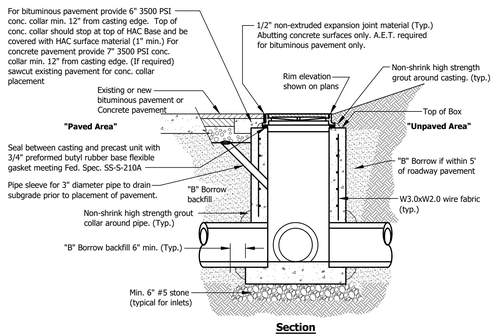
Designed By: JEM	Job Number: 12683.1.002-A
Drawn By: WAF	Date: 05.02.2025
Filename: 12683 Civil Base	
Sheet Number: **C103**	



Plan View

Notes:

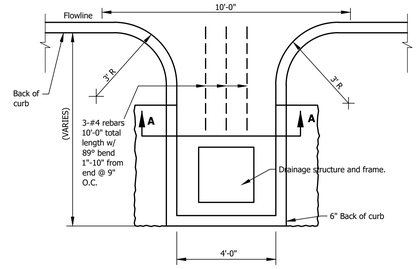
1. For Area Inlet in pavement East Jordan #8306 casting or equal with Type M grate. For Area Inlet in non-paved areas: East Jordan #6500 casting, or equal, with adapter ring.
2. For Manhole East Jordan #8306 casting with Type A solid cover or equal. Contractor may substitute East Jordan #1022-1 casting with Type A solid cover, or equal.
3. All connecting pipes shall be grouted with a high strength non-shrink grout.
4. Precast box shall conform to ASTM C-478.
5. Reinforcement shall be 3" x 6" W3.0xW2.0 wire fabric for precast units.
6. The inlet shall be backfilled with "B" Borrow and mechanically compacted in 6" lifts to 95% of standard density ASTM 698.

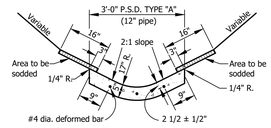


Section

24" x 24" Precast Box

No Scale

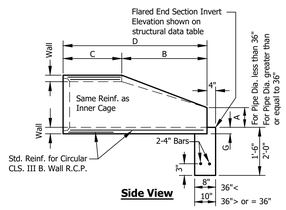




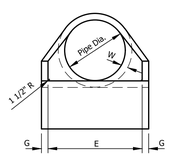
Section A-A

Modified Curb Turnout

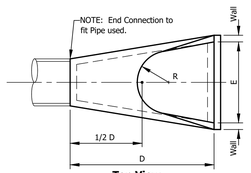
No Scale



Side View



End View

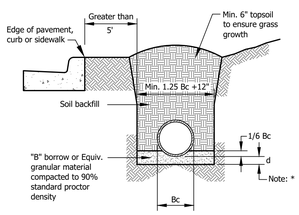


Top View

PIPE DIA.	WGT. (LBS)	WALL	A	B	C	D	E	G	R	SLOPE
12"	530	2 1/4"	8"	2'-1/4"	4'-1 1/2"	6'-1 3/4"	1'-11 3/4"	2 1/4"	9"	2:1
15"	900	2 1/4"	9"	2'-3"	3'-10"	6'-1"	2'-6"	2 1/4"	11"	2:1
18"	1000	2 1/2"	11 1/2"	2'-3"	3'-10"	6'-1"	3'-0"	2 1/2"	1'-0"	2:1
21"	1280	2 3/4"	10"	2'-11"	3'-2"	6'-1"	3'-6"	2 3/4"	1'-1"	2:1
24"	1600	2 3/4"	1'-0"	3'-8"	2'-6"	6'-2"	4'-0"	2 3/4"	1'-2"	2:1
27"	1930	3 1/4"	10 1/2"	4'-0"	2'-1 1/2"	6'-1 1/2"	4'-6"	3 1/4"	1'-2 1/2"	3:1
30"	2250	3 1/2"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	3 1/2"	1'-3"	3:1
33"	3200	3 3/4"	1'-1 1/2"	4'-10 1/2"	3'-3 1/4"	8'-1 3/4"	5'-6"	3 3/4"	1'-5 1/2"	3:1
36"	4480	4"	1'-4 3/4"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	4"	1'-8"	3:1
42"	5380	4 1/2"	1'-9"	5'-3"	2'-11"	8'-2"	6'-6"	4 1/2"	1'-10"	3:1
48"	6550	5"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	5"	1'-10"	3:1
54"	8240	5 1/2"	2'-3"	5'-5"	2'-11"	8'-4"	7'-6"	5 1/2"	2'-0"	2:1
60"	8730	6"	2'-11"	5'-0"	3'-3"	8'-3"	8'-0"	5"	*	2:1
66"	10710	6 1/2"	2'-6"	6'-0"	2'-3"	8'-3"	8'-6"	5 1/2"	*	2:1
72"	12520	7"	3'-0"	6'-6"	1'-9"	8'-3"	9'-0"	6"	*	1.86:1
78"	14770	7 1/2"	3'-0"	7'-6"	1'-9"	9'-3"	9'-6"	6 1/2"	*	1.82:1
84"	18160	8"	3'-0"	7'-6 1/2"	1'-9"	9'-3 1/2"	10'-0"	6 1/2"	*	1.5:1

Concrete End Section

No Scale



Greater than 5' from edge of pavement

Depth of Bedding Material Below Pipe

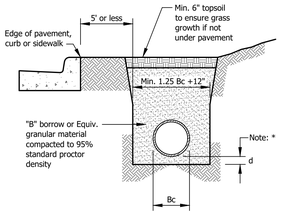
D	(d) Min.
27" & Smaller	3"
30" to 60"	4"
66" & Larger	6"

Legend:

Bc = Outside Diameter
D = Inside Diameter
d = Depth of Bedding Material Below Pipe

Note: *
All bedding & initial backfill shall be Installed in 6" to 12" balanced lifts.

A minimum 9" of clearance shall be provided on each side of the installed pipe.



Beneath or within 5' of edge of pavement

Reinforced Concrete Pipe Storm Sewer Bedding

No Scale

Revisions		
No.	By	Date

4800 Rosebud Ln., Newburgh, IN 47630 812.464.9585 Phone 812.464.2514 Fax
morleycorp.com

MORLEY
ARCHITECTS | ENGINEERS | SURVEYORS

Project: Garvin Park Phase 2

Sheet Title:

Civil

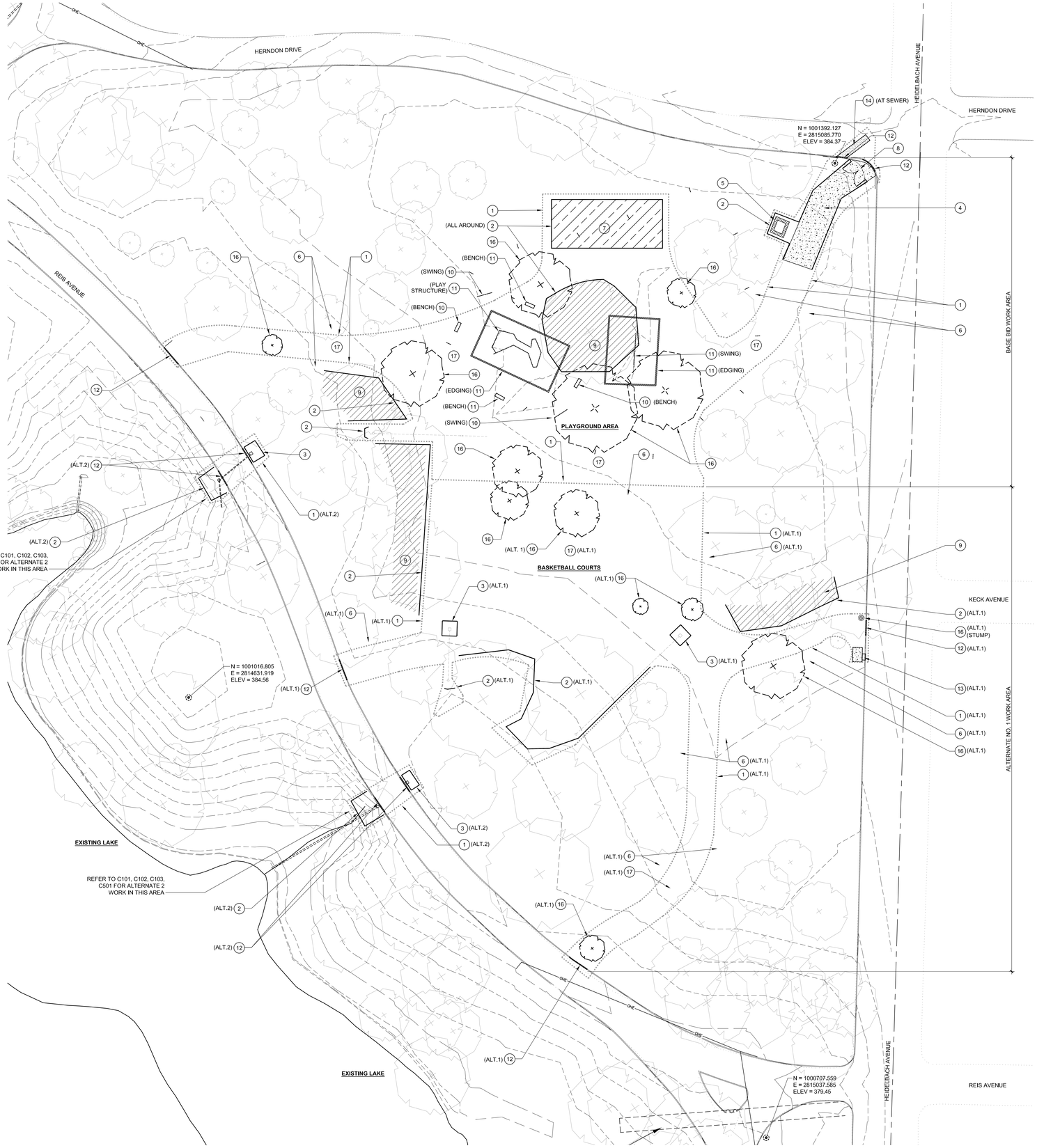
Drainage Details
45 Don Mattingly Way
Evansville, IN 47711

Scale: N/A

Designed By:	Job Number:
JEM	12683.1.002-A
Drawn By:	Date:
WAF	05.02.2025

Filename: 12683 Civil Base

Sheet Number: **C501**



DEMOLITION AND EROSION CONTROL PLAN

1" = 30'-0"

North

0 15' 30'

EROSION CONTROL NOTES:

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F: 812.421.6776
www.haferdesign.com

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REGISTERED
No 80860027
STATE OF INDIANA
LANDSCAPE ARCHITECT

Revisions:

Designed By:	Drawn By:	Checked By:
D.E.	R.H.	D.E.

Sheet Title:
DEMOLITION AND EROSION CONTROL PLAN

Architect's Project No.: 2402-146
Date: MAY, 2025

Drawing No:
EC1.1

DEMOLITION PLAN - RESTROOM BUILDING

1" = 10'-0"

North

0 5 10'

WEST ELEVATION

NO SCALE

North

SOUTH ELEVATION

NO SCALE

North

EAST ELEVATION

NO SCALE

North

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DANIEL B. ENGELBRECH
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No. 80860027
STATE OF
INDIANA
LANDSCAPE ARCHITECT

Revisions:

Designed By:	Drawn By:	Checked By:
D.E.	R.H.	D.E.

Sheet Title:

DEMOLITION PLAN - RESTROOM BUILDING

Architect's Project No.	Date:
2402-146	MAY, 2025

Drawing No:

EC1.2

Storm Water Pollution Prevention Plan

Assessment of Construction Plan Elements
Section A

A-1 Plan Index showing location of required items:

Refer to Cover Sheet for Drawing Index.

A-2 Vicinity Map:

Refer to Cover Sheet for Vicinity Map

A-3 Narrative describing the nature and purpose of the project:

Activity Zone Improvements include the following:

- Construction of a children's playground with lighting
- Construction of a 374 sf restroom building
- Construction of 2 basketball courts with lighting (altnernate 1)
- Construction of paved walks for access to the Activity Zone
- Cleaning and repair of four existing area drains (alternate 2)
- Demolition of an existing masonry restroom building
- Alternates will only be constructed if budget allows

A-4 Latitude and Longitude:

Latitude: 37° 59' 46" N
Longitude: 87° 33' 42" W

A-5 Legal Description of the Project Site:

Township: 6S
Range: 10W
Qsection: 170610SW
Legal Description: Lots 6-9 Maxwell Sub, Lot 54 Richards Sub, Blks 3-6 Morgans Plat of 18-6-10W
Township name: Pigeon

A-6 11x17-inch plat showing building lot numbers / boundaries and road layout / names:

Refer to C101

A-7 Boundaries of the 110-year floodplains, floodway fringes and floodways:

Pigeon Creek floodway: 1150' west
Pigeon Creek flood zone A / levee: 1070' west

A-8 Land use of all adjacent properties:

North: single family residential
East: single family residential
South: maintained public park
West: public park, unmaintained woodlands

A-9 Identification of a U.S. EPA approved or established TDML:

None

A-10 Name of the receiving water:

Pigeon Creek via Garvin Park Lake

A-11 Identification of discharges to a water on the current 303(d) list of impaired waters and the pollutants for which it is impaired:

Pigeon Creek - dissolved oxygen, nutrients, PCBs in fish, biological integrity

A-12 Soils map of the predominate soil types:

Refer to Attached - USDA Soil Survey.

A-13 Identification and location of all known wetlands, lakes, and water courses on or adjacent to the project site:

-Pigeon Creek 1150' west of site
-Garvin Park Lake 100' south of site

A-14 Identification of any other state or federal water quality permits or authorizations that are required for construction activities:

none

A-15 Identification and delineation of existing cover, including natural buffers:

Parkland site with maintained open lawn and shaded open lawn.

A-16 Existing site topography at an interval appropriate to indicate drainage patterns:

Refer to C101 Topographic Survey.

A-17 Locations where runoff enters the site:

The new site is slightly elevated relative to surrounding terrain, excepting to the north where the open lawn area is flat to Herndon Avenue. It is not apparent that any runoff enters the site from beyond the project boundaries.

A-18 Locations where run-off discharges from the project site prior to land disturbance:

Storm water that falls on the Activity Zone drains across the lawn area toward the south / southwest at a slope of 2% to the Reis Avenue driveway that separates the Activity Zone from Garvin Park Lake. Two existing area drains at the curb collect runoff which is conveyed by pipe under the driveway to Garvin Park Lake. The area drains and pipes are significantly clogged causing periodic standing water in a shaded lawn area between the Activity Zone site and the driveway and in the north gutter zone of the driveway.

Stormwater that falls at the restroom demolition site drains to an existing area drain located at the curb of the Richardt Avenue driveway. It is not determined whether this area drain daylights directly to Pigeon Creek or Garvin Park Lake.

A-19 Locations of all existing structures on the project site:

Refer to C101 for location of Reis Avenue driveway and underground utilities in the vicinity of the Activity Zone site. At the north end of Garvin Park, on the Reichardt Avenue driveway, an existing masonry restroom building is located that is not currently in use. This restroom building will be demolished as part of the Activity Zone Improvements project.

A-20 Existing permanent retention or detention facilities, including manmade wetlands, designed for the purpose of stormwater management:

Garvin Park Lake functions as a detention facility for runoff from the Activity Zone and other areas of the Park.

A-21 Locations where stormwater may be directly discharged into ground water, such as abandoned wells, sinkholes, or karst features:

No such locations are known to exist on the project site.

A-22 Size of the project in acres:

3 acres

A-23 Total expected land disturbance expressed in acres:

Playground and restroom area:	.98 acres
Basketball area (alt. 1):	.80 acres
Restroom demolition area:	.10 acres
Storm drain repair area (alt. 2):	.12 acres

A-24 Proposed Final Topography:

Refer to L1.2 Grading Plan.

A-25 Locations and approximate boundaries of all disturbed areas:

Refer to EC-1.1 for Activity Zone disturbed area.
Refer to EC-1.2 for Restroom Demolition disturbed area.

A-26 Locations, size and dimensions of all stormwater drainage system such as culverts, stormwater sewer, and conveyance channels:

Refer to C101.

A-27 Locations of specific points where stormwater and non-stormwater discharges will leave the project site:

Stormwater will leave the site via two existing 12" diameter concrete sewer pipes crossing the Reis Avenue driveway into Garvin Park Lake. Refer to C102.

A-28 Location of all proposed site improvements, including roads, utilities, lot delineation and identification, proposed structures, and common areas:

Refer to L1.1 Hardscape Plan.

A-29 Location of all on-site and off-site soil stockpiles and borrow areas:

Refer to EC1.1 for on site soil stockpile location. There will be no off-site soil stockpile locations.

A-30 Construction support activities that are expected to be part of the project:

No support activities are anticipated.

A-31 Location of any in-stream activities that are planned for the project including, but not limited to stream crossings and pump-arounds:

No in-stream activities are anticipated

Stormwater Pollution Prevention - Construction Component Section B

B-1 Description of the potential pollutant generating sources and pollutants, including all potential non-stormwater discharges:

Potential pollutant sources include: oil and gas dripping from construction vehicles, windborne dust, soil sediment, litter, concrete residue, sanitary waste from temporary restrooms, fertilizers, pesticides, construction debris, chemical residue dripping from disposal containers, landscaping mulch and planting soil.

B-2 Stable construction entrance locations and specificaitons:

Refer to EC1.1 for location of construction entrance. Refer to Detail 2/EC2.1 for construction details.

B-3 Specifications for temporary and permanent stabilization:

Refer to EC2.1.

B-4 Sediment control measure for concentrated flow areas:

There are no ditches, swales or other concentrated flow areas existing or planned on this project site. If a concentrated flow area were to develop, a rock check dam would be employed to mitigate impact.

B-5 Sediment control measures for sheet flow areas:

Sheet flow occurs and will increase in the vicinity of the new pavements. Refer to EC1.1 and EC1.2 for locations of silt fence and vegetated buffer zones. Refer to detail 1/EC2.1 for silt fence specifications.

Sediment control for sheet flow areas involves several strategies which are: containment at the perimeter of the work area, slowing the speed of water movement and reducing the areas of the site that are subject to erosion by providing cover and improving percolation.

For containment, the contractor is required to maintain a continuous vegetated buffer zone at the perimeter of the project work sites. Sedimental control measures shall be employed in all locations as the need becomes apparent.

To reduce the generation of sediment, temporary seeding shall be performed in areas of exposed soil, and stone shall be installed where construction activities preclude the usefulness of temporary vegetation. Where soil has been excessively compacted by vehicle traffic, roughening or loosening of the soil surface to improve percolation can be performed.

The Contractor may employ other products in lieu of sediment fences and hay bales in conformance with best management practices listed in the Indiana Storm Water Quality Manual. It is the Contractor's responsibility to monitor and correct any problems related to sediment and soils carried away by sheet flow and to provide additional or more extensive erosion control mitigation features than those indicated on the Site Erosion Control Plan as the need becomes apparent.

B-6 Run-off control measures:

Due to relatively level topography, no run-off control measures are planned. Erosion control blankets shall be installed on the slopes of concentrated flow areas, such as swales, if the need becomes apparent. Rapid installation and development of lawns in channel bottoms and sides of swales is required.

B-7 Stormwater outlet protection location and specifications:

Storm pipes will continue to discharge into Garvin Park Lake below the water level of the lake, negating the need for outlet protection features.

B-8 Grade stabilization structure locations and specifications:

No grade stabilization structures are anticipated to be necessary on this project.

B-9 Dewatering applications and management methods:

No significant deep excavations are anticipated. Dewatering methods if needed will be the responsibility of the Contractor as temporary facilities. Any such activities will be developed to prevent sediment from leaving the site.

B-10 Measures utilized for work within waterbodies:

Not applicable to this project.

B-11 Maintenance guidelines for each proposed stormwater quality measure:

The Contractor shall always keep a copy of this SWPPP at the on-site office for the duration of the project. The Contractor may employ alternative methods for stormwater pollution prevention based on the United States Environmental Protection Agency DPDES General Construction Permit Manual of BMPs, and the Indiana Storm Water Quality Manual of BMPs, subject to approval.

Monitoring of storm water quality measures shall be performed by a trained individual on the Contractor's supervisory staff on a weekly basis and within 24 hours of every rainfall event exceeding ½". Erosion control features shall not be removed until landscape and site work is complete. Frequent sweeping of paved areas is required.

A written report, in the form of the inspection report attached to this plan, shall be prepared by an employee of the Contractor, trained and knowledgeable of the Indiana Storm Water Quality Manual. These reports shall be written weekly and based on a firsthand personal inspection of the entire site. Additional inspections and reports shall be made after every rainfall exceeding ½ inch. Reports shall be distributed to the Owner and Architect at progress meetings.

Inspections by governmental authorities are anticipated. The Contractor shall perform all maintenance and remedial work and shall install additional storm water quality features, as directed by governmental authorities, at no additional cost to the Owner, whether or not such features are indicated on the Contract Documents.

B-12 Planned construction sequence that describes the implementation of stormwater quality measures in relation to land disturbing activities:

Phase 1, prior to site clearing and earthmoving

- Pre-Construction Conference: Discuss the SWPPP best management practices including: responsibility of all parties to know and adhere to the plan, potential sources of pollution, phasing of the construction and the schedule for installation of related storm water quality features and individual and subcontractor responsibilities for BMPs. Review the Contractor's spill procedure plan.
- Inform reviewing agency staff of offsite land disturbance and disposal locations, if any.
- Inform reviewing agency staff of on-site soil stockpile and brush pile locations.
- Install the security fences at the perimeter of construction areas, where applicable.
- Install the construction vehicle entrance pads.
- Install sheet flow sediment control barriers at locations indicated on the Erosion Control Plan and elsewhere as directed by local authorities.
- Inspect and verify that perimeter vegetated buffer zones are undisturbed and adequately covered with vegetation.
- Mark existing underground utility line locations by utility locator service.
- Install temporary facilities including litter receptacles, construction waste receptacles and portable restrooms.

Phase 2, when site clearing and earthmoving commence

- Install sediment control barriers around material storage and staging areas.
- Install sediment control barriers around all existing storm water drains in planted areas.
- Install under-grate filters or curb-inlet filters at existing storm drains in paved areas within or adjacent to the project site.
- Site clearing and demolition work may now commence.
- Commence site inspection procedures.
- Implement dust control procedures if warranted by weather conditions.
- Install sediment control features at off-site soil stockpile site if applicable.
- Provide copies of all SWPPP site inspection reports to authorities and the Architect. Comply with all recommendations of inspecting authorities and the Architect for remedial work.
- Install sediment control barriers around all new storm drains and below all outlets on culverts.

Phase 3, when building construction and site construction commence

- Construct concrete washout basins in locations near construction entrance before first installation of concrete materials.
- Building construction may now commence.
- Perform routine inspections of the site for storm water pollution hazards and condition of BMPs.
- Sweep driveways, walks and adjacent streets where sediment has been spread by construction vehicles.
- Perform additional inspections when rainfall exceeds ½ inch.
- Inspect area drain outlets for evidence of erosion and sediment in storm water. Take remedial action to eliminate all silt and pollution as required.
- Provide dust control where and when needed.
- Install annual grass seed and mulch at areas of bare ground where construction activities have halted for more than seven days. Provide temporary irrigation until seed has germinated and lawn is well established.
- Install crushed rock at bare ground where rutting and turf damage occur and construction activity is ongoing.
- Inspect the construction entrance pad and install additional stone as needed, or if the existing stone is clogged with sediment, remove the stone and sediment and replace with new stone.

Phase 4

- Building construction is substantially complete and most site improvements are in progress.
- If possible, leave stone construction entrance in place until finish grading, paving and other earthwork is complete.
- Repair, replace or install additional pollution prevention measures as needed.
- Install sediment control barriers around new planting bed area drains as they are constructed.
- Install perennial grass seed or sod as soon as possible after finish grading is complete, water until lawn is well established.
- In all locations where lawn is seeded and slopes exceed 1:6, provide erosion control fabric or blankets. In seeded lawn areas with slopes below 1:6, provide straw mulch.
- Install protective fences or flag lines to prevent damage to newly planted lawn areas from pedestrian or vehicular traffic.
- Install permanent erosion control features.
- Remove and dispose of temporary erosion control features only after land disturbing activities are complete and permanent erosion control measures are in place. Dispose of construction debris such as concrete washout from the project site. Remediate all damage caused by construction operations and materials.

B-13 Provisions for erosion and sediment control on individual residential building lots regulated under the proposed project:

Not applicable to this project.

B-14 Material handling and spill prevention and spill response plan meeting the requirements in 327 IAC 2-6.1:

The Contractor shall prepare and submit to the Architect, for approval, a Material Handling and Spill Prevention Plan and shall employ the recommendations of the plan in his operations. The Contractor's employees shall be trained in spill response procedures. If a spill occurs that could pose a threat to the environment, the Contractor shall immediately notify the Owner, the S.W.C.S. Storm Water Coordinator, and the Indiana Department of Environmental Management.

B-15 Material handling and storage procedures associated with construction activity:

All materials that could negatively impact the quality of storm water runoff shall remain in sealed and unopened containers until used. Gravel and other loose-stored materials shall be covered by tarps. Refuse shall be collected in steel disposal containers that are emptied before the containers become full. All contaminated soils and materials shall be disposed of according to applicable laws and regulations. The following basic procedures for minimizing the risk of spill and contamination shall be followed:

- Storage areas shall be well organized such that access to equipment or materials is not blocked requiring unnecessary material handling
- Materials shall not be delivered to the site until shortly before they are to be installed
- Products shall be handled according to the manufacturer's instructions and stored in their original packaging, unopened, unless specified otherwise.
- Partially full containers shall be used up before new containers are opened.
- The Contractor shall inspect construction equipment for dripping fluids and shall have all leaks repaired immediately.
- Fertilizers and pesticides shall not be broadcast within ten feet of any paved area or stormwater inlet, nor applied at greater rates than recommended by the manufacturer.
- A kit of tools and materials used for spill remediation shall be kept on site for the duration of the construction activities.

SWPPP - Post Construction Component
Section C

C-1 Description of pollutants and their sources associated with the proposed land use:

The completed project will include a one-story restroom building, 2 basketball courts, walks, lighting and related features.

The total area of impervious surfaces will increase but it should be noted that runoff from roofs, walks, and the basketball courts will be cleaner than that from streets and parking areas. All runoff from new pavements will flow across lawn areas before entering area drains at the Reis Avenue driveway, improving water quality by filtration and percolation.

A list of typical sources of storm water pollution, after completion of construction projects of this scale and scope, along with comments regarding their likely applicability, follows:

- Eroded Soil (could occur in lawns due to foot traffic)
- Lawn fertilizers and pesticides (not a significant concern due to infrequent use of such materials by park maintenance staff)
- Petroleum products dripped from parked vehicles (a potential concern at existing driveways)
- Grease, anti-freeze and brake fluid (a potential concern at driveway)
- Brake dust, rubber fragments and road grit (a potential concern at driveway)
- De-icing salts on sidewalks (not a concern because the site is not used during winter weather events)
- Litter and related biological pollutants (a potential concern at all facilities open to the public)
- Elevated water temperatures (a potential concern)

C-2 Description of proposed post construction storm water quality measures:

In general, the existing patterns of stormwater flow in the park will not change significantly due to the development of the new Activity Zone. This project benefits from the natural setting in which it is located and the intention of the design is to take advantage of the existing natural features to minimize the negative impact of new pavements and therefore minimize the construction footprint. The most significant natural feature is the lake. New work will have the following effects: Runoff will benefit from the filtering effect of crossing the lawn before entering area drains AD-104A and AD-204A

The new playground area will have an underground drainage system. Storm water will percolate through the safety surface and be collected in the drain system which oulets through pipe P501. This water will be conveyed by grass-lined swale to AD 204A.

Two basketball courts are located south of the playground and slope at .08% to the south. Water will flow off the edge of the pavement onto the restored lawn. Water quality will be improved by lawn filtration. The design takes advantage of the existing site features, in particular Garvin Park Lake, to eliminate the disturbance caused by construction for new detention.

Demolition of the existing restroom on Richardt Avenue will reduce and improve runoff as lawns replace the impervious roof and concrete walks.

The overall concept of stormwater management on this is to create a "passive" rather than an infrastructure-heavy approach which would inevitably increase impact, damage and disruption to the site.

C-3 Plan details for each stormwater measure:

Refer to C501

C-4 Sequence describing storm water quality measure implementation:

Remove temporary sheet flow siltation barriers only after lawn areas are well established and it is verified that erosion is no longer a threat to water quality.

Prompt and effective installation and establishment of permanent lawns will be the key measure for minimizing soil erosion and sediment pollution. The Contractor will need to schedule finish grading and seeding during the best seasons for lawn development. If finish grading and seeding must occur during hot and dry seasons, frequent watering of lawn areas will be necessary.

Removal of temporary features to reduce sediment in runoff may need to be delayed through the months after substantial completion. It is important that the Owner and the Contractor work cooperatively during the transition from temporary to permanent storm water pollution prevention measures.

C-5 Maintenance guidelines for proposed post construction stormwater measures:

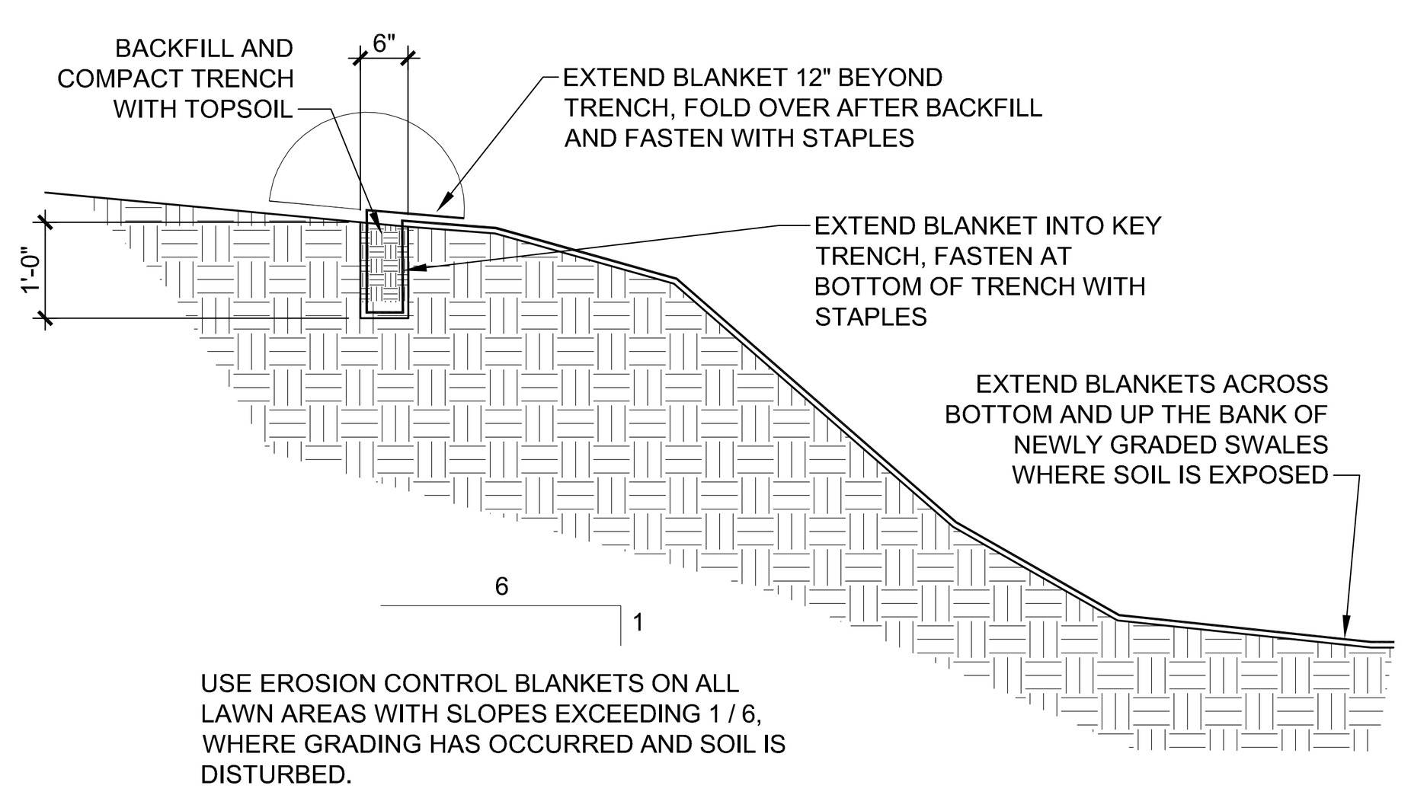
Erosion and sediment pollution will be visible on pavements and lawn areas which will be monitored by the Parks Department's maintenance staff.

Post Construction maintenance guidelines to prevent storm water pollution include the following:

- Maintain healthy and dense lawn cover, eliminating bare spots by re-seeding and diverting pedestrian traffic. This development has numerous paved walks and foot traffic in lawn areas will not be sufficient to cause erosion from bare ground.
- Monitor storm water outlets for signs of petroleum products. Although there are no outlets on the project site, areas of standing water can be inspected for signs of petroleum products.
- Minimize use of lawn fertilizers and pesticides particularly near area drains. Park staff do not use fertilizers or pesticides at this location.
- Use sand in lieu of deicing salts on walks. This is an outdoor sports facility and is not used during snow and icy weather.
- Monitor area drains to ensure that the grade does not settle, damaging lawns and creating bare spots that could be a source of soil sediments washing into the drain.
- Remove litter promptly, provide enough waste disposal containers, reduce the use of disposable packaging products and encourage waste recycling.

C-6 Entity that will be responsible for operation and maintenance of the post-construction stormwater measures:

City of Evansville Department of Parks and Recreation.



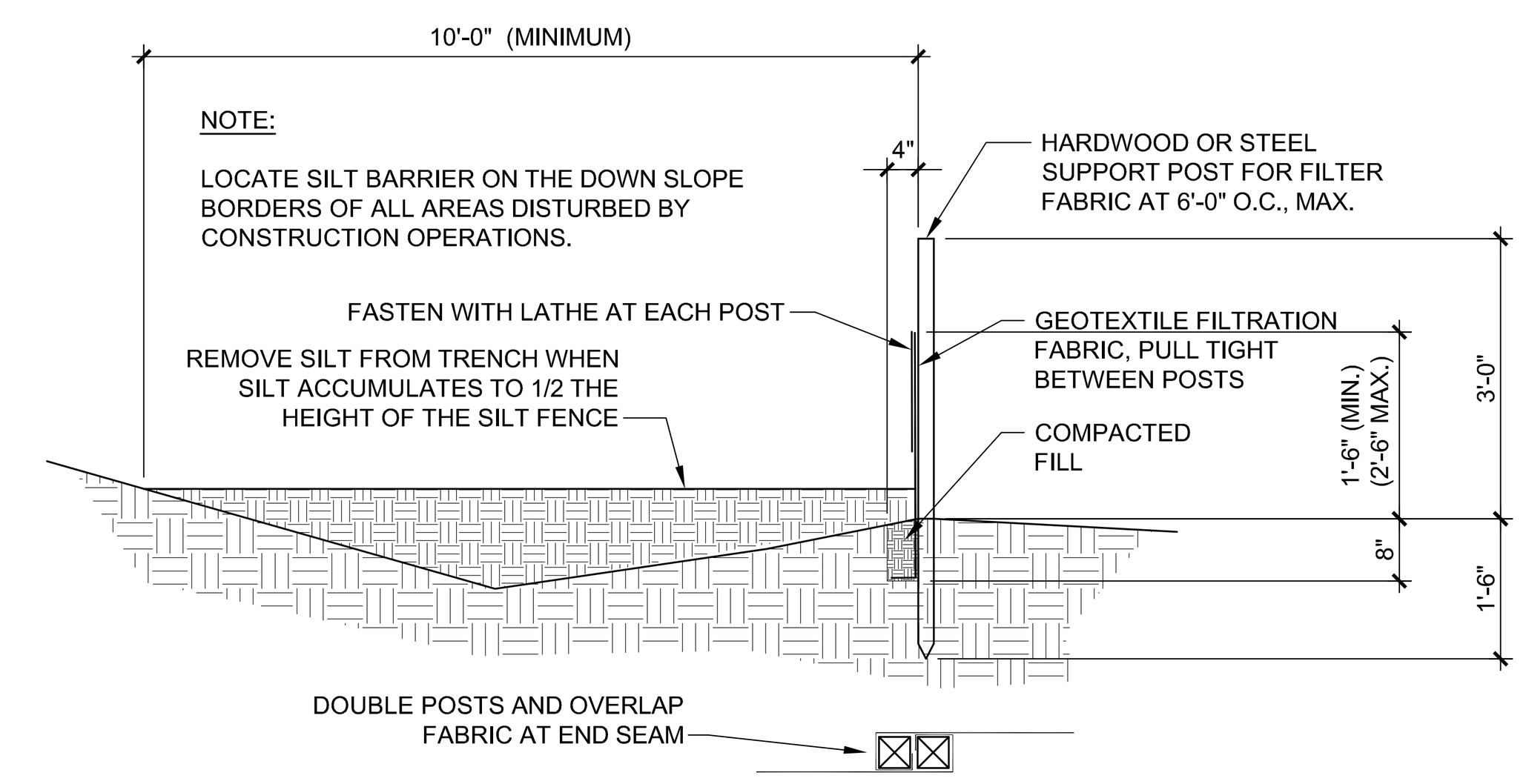
INSTALLATION:

1. USE TYPE AND WEIGHT OF EROSION CONTROL BLANKET PER SPECIFICATION TO FIT THE SITE CONDITIONS (E.Q., SLOPE, CHANNEL, FLOW VELOCITY) PER THE MANUFACTURER'S SPECIFICATION.
2. PREPARE THE SEEDBED, ADD SOIL AMENDMENTS, AND PERMANENTLY SEED THE AREA IMMEDIATELY FOLLOWING SEEDBED PREPARATION.
3. LAY EROSION CONTROL BLANKETS ON THE SEEDED AREA SO THAT THEY ARE IN CONTINUOUS CONTACT WITH THE SOIL WITH EACH UP-SLOPE OR UP-STREAM BLANKET OVERLAPPING THE DOWN-SLOPE OR DOWN-STREAM BLANKET BY AT LEAST EIGHT INCHES.
4. TUCK THE UPPERMOST EDGE OF THE UPPER BLANKETS INTO THE CHECK SLOT (SLIT TRENCH), BACKFILL WITH SOIL AND TAMP DOWN.
5. EXTEND BLANKET 1'-0" BEYOND TRENCH. AFTER BACKFILLING, SEED TOP OF TRENCH AND FOLD BLANKET BACK OVER TOP AND RESEED TOP OF TRENCH.
6. ANCHOR THE BLANKETS IN PLACE BY DRIVING STAPLES, THROUGH THE BLANKET AND INTO THE UNDERLAYING SOIL ALONG EACH OVERLAP AT 2'-0" O.C. MINIMUM OTHERWISE AS RECOMMEND BY MANUFACTURER.

MAINTENANCE:

1. INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND NOT LESS THAN ONCE EVERY SEVEN CALENDAR DAYS.
2. CHECK FOR EROSION OR DISPLACEMENT OF THE BLANKET.
3. IF ANY AREA SHOWS EROSION, PULL BACK THAT PORTION OF THE BLANKET COVERING THE ERODED AREA, ADD SOIL AND COMPACT, RESEED THE AREA, REPLACE AND STAPLE THE BLANKET.
4. WATER WITH LIGHT SPRAY UNTIL SEED GERMINATES AND LAWN IS FULLY ROOTED AND ESTABLISHED.

6 / EC2.1 **SECTION - EROSION CONTROL BLANKET**
1/2" = 1'-0"
0 6" 1' 2'



SILT FENCE INSTALLATION:

1. LAYOUT FENCE LOCATION PARALLEL TO THE CONTOURS OF THE SLOPE AND 10' BEYOND TOE OF SLOPE, WITH ENDS OF FENCE RETURNING UP SLOPE TO A POINT WHERE BOTTOM OF FENCE IS AT SAME ELEVATION AS TOP OF FENCE AT LOWEST ELEVATION.
2. DIG AN 8" DEEP, 4" WIDE TRENCH ALONG FULL LENGTH OF FENCE.
3. INSTALL SILT FENCE WITH FABRIC LOCATED ON THE UP-SLOPE SIDE OF TRENCH AND THE SUPPORT POSTS ON THE DOWN-SLOPE SIDE.
4. DRIVE SUPPORT POSTS 18" INTO GROUND, TIGHTLY STRETCHING FABRIC BETWEEN POSTS.
5. EXTEND FABRIC 12" INTO TRENCH AND FOUR INCHES ACROSS BOTTOM AND TOWARD UP-SLOPE SIDE.
6. BACKFILL TRENCH WITH TOPSOIL AND COMPACT.
7. USE WOOD LATHE AT EACH SUPPORT POST TO FULLY SECURE AND FASTEN FABRIC TO POSTS.

MAINTENANCE:

1. INSPECT WEEKLY AND WITHIN 24 HOURS OF EVERY RAIN EVENT IN EXCESS OF 1/". REPLACE DAMAGED FABRIC AND POSTS IMMEDIATELY. STRAIGHTEN AND BRACE POSTS THAT ARE LEANING OUT OF VERTICAL. REPLACE DAMAGED POSTS.
2. REMOVE SEDIMENT WHEN BOTTOM HALF OF FABRIC IS COVERED OR WHEN SEDIMENT CAUSES THE FABRIC TO BULGE OR PULL AWAY FROM POSTS.
3. REMOVE FENCE, REGRADE AND STABILIZE SILTED AREA WHEN THE SLOPE ABOVE THE FENCE HAS BEEN FULLY STABILIZED.

1 / EC2.1 **SECTION - SILT FENCE SEDIMENT BARRIER**
1/2" = 1'-0"
0 6" 1' 2'

TEMPORARY DORMANT OR FROST SEEDING RECOMMENDATIONS

SEED SPECIES	RATE PER ACRE
WHEAT OR RYE	150 LBS.
SPRING OATS	150 LBS.
ANNUAL RYEGRASS	60 LBS.

TEMPORARY SEEDING SPECIFICATIONS

SEED SPECIES	RATE PER ACRE	PLANTING DEPTH	OPTIMUM DATES
WHEAT OR RYE	150 LBS.	1 TO 1 1/2 INCHES	SEPT. 15 - OCT. 30
SPRING OATS	100 LBS.	1 INCH	MARCH 1 - APRIL 15
ANNUAL RYE	40 LBS.	1/4 INCH	MARCH 1 - MAY 1
			AUG. 1 - SEPT. 1
GERMAN MILLET	40 LBS.	1 TO 2 INCHES	MAY 1 - JUNE 1
SUDANGRASS	35 LBS.	1 TO 2 INCHES	SEPT. 15 - OCT. 30
WHEAT OR RYE	150 LBS.	1 TO 2 INCHES	SEPT. 15 - OCT. 30
WHEAT OR RYE	150 LBS.	1 TO 2 INCHES	SEPT. 15 - OCT. 30
WHEAT OR RYE	150 LBS.	1 TO 2 INCHES	SEPT. 15 - OCT. 30

DORMANT AND FROST SEEDING

COMPLY WITH REQUIREMENTS OF SPECIFICATIONS 329113 AND 329200.

SITE PREPARATION, SEEDBED, PREPARATION AND MULCHING CAN BE DONE MONTHS AHEAD OF ACTUAL SEEDING OR IF THE EXISTING GROUND COVER IS ADEQUATE, SEEDING CAN BE DONE DIRECTLY INTO IT.

1. BROADCAST SOIL AMENDMENTS AS RECOMMENDED BY SOIL TEST AND WORK INTO THE UPPER TWO TO FOUR INCHES OF SOIL.
2. APPLY AND ANCHOR MULCH (SEE MULCHING ON PAGE 55 AND COMPOST MULCHING ON PAGE 59) IMMEDIATELY AFTER COMPLETION OF GRADING AND ADDITION OF SOIL AMENDMENTS.
3. SELECT AN APPROPRIATE SEED SPECIES OR MIXTURE FROM TABLE 1 FOR TEMPORARY SEEDING. FOR PERMANENT SEEDING, USE SEED PER SPECIFICATION 329200. BROADCAST THE SEED ON TOP OF THE MULCH AND/OR INTO EXISTING GROUND COVER AT THE RATE SHOWN. (SEED AREAS WHEN SOIL TEMPERATURES ARE BELOW 50 DEG. F BUT THE SOIL IS NOT FROZEN.)

DORMANT SEEDING & FROST SEEDING:

1. BROADCAST SOIL AMENDMENTS AS RECOMMENDED BY SOIL TEST AND WORK INTO THE UPPER TWO TO FOUR INCHES OF SOIL BEFORE IT FREEZES. IF TESTING WAS NOT DONE, APPLY 200 TO 300 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
2. SELECT AN APPROPRIATE SEED SPECIES OR MIXTURE FROM TABLE 1 FOR TEMPORARY SEEDING. FOR PERMANENT SEEDING, USE SEED PER SPECIFICATION 329200. BROADCAST THE SEEDBED OR INTO EXISTING GROUND COVER AT THE SPECIFIED RATE. (SEED AREAS WHEN SOIL IS FROZEN. DO NOT WORK THE SEED INTO THE SOIL.)

MAINTENANCE:

1. INSPECT AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
2. CHECK FOR EROSION OR MOVEMENT OF MULCH.
3. CHECK FOR INADEQUATE COVER (LESS THAN 80 PERCENT DENSITY OVER THE SOIL SURFACE); RESEED AND MULCH IN MID TO LATE APRIL IF NECESSARY. FOR BEST RESULTS, RESEED WITHIN THE RECOMMENDED DATES SHOWN IN TEMPORARY SEEDING ON PAGE 31 AND PERMANENT SEEDING ON PATE 35.
4. APPLY 200 TO 300 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT, BETWEEN APRIL 15 AND MAY 10 OR DURING PERIODS OF VIGOROUS GROWTH.
5. FERTILIZER TURF AREAS ANNUALLY. APPLY FERTILIZER IN A SPLIT APPLICATION. FOR COOLING SEASON GRASSES, APPLY ONE-HALF OF THE FERTILIZER IN LATE SPRING AND ONE-HALF IN EARLY FALL. FOR WARM-SEASONS GRASSES, APPLY ONE-THIRD IN EARLY SPRING, ONE-THIRD IN LATE SPRING AND THE REMAINING ONE-THIRD IN MIDDLE SUMMER.

TEMPORARY SEEDING

INSTALLATION:

1. TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.
2. APPLY SOIL AMENDMENTS AS RECOMMENDED BY THE SOIL TEST. IF TESTING IS NOT DONE, APPLY 400 TO 600 POUNDS PER ACRE OF 12-12-12 FERTILIZER.
3. WORK THE SOIL AMENDMENTS INTO THE UPPER TWO TO FOUR INCHES OF THE SOIL WITH A DISK OR RAKE OPERATED ACROSS THE SLOPE.
4. SELECT A SEED SPECIES OR MIXTURE FROM TABLE ABOVE, SUBJECT TO APPROVAL OF ARCHITECT.
5. APPLY SEED UNIFORMLY WITH A DRILL OR CULTIPACKER SEEDER OR BY BROADCASTING. PLANT OR COVER SEED TO THE DEPTH SHOWN IN TABLE ABOVE.
6. IF DRILLING OR BROADCASTING THE SEED, ENSURE GOOD SEED-TO-SOIL CONTACT BY FIRMING THE SEEDBED WITH A ROLLER TO CULTIPACKER AFTER COMPLETING SEEDING OPERATIONS.
7. DAILY SEEDING WHEN THE SOIL IS MOIST IS USUALLY MOST EFFECTIVE.
8. IF SEEDING IS DONE WITH A HYDROSEEDER, FERTILIZER AND MULCH CAN BE APPLIED WITH THE SEED IN A SLURRY MIXTURE.
9. APPLY MULCH AND ANCHOR IT IN PLACE.

MAINTENANCE:

1. INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
2. CHECK FOR EROSION OR MOVEMENT OF MULCH AND REPAIR IMMEDIATELY.
3. MONITOR FOR EROSION DAMAGE AND ADEQUATE COVER (80 PERCENT DENSITY); RESEED, FERTILIZE, AND APPLY MULCH WHERE NECESSARY.
4. IF NITROGEN IS APPARENT, TOP-DRESS FALL SEEDED WHEAT OR RYE SEEDING WITH 50 POUNDS PER ACRE OF NITROGEN IN FEBRUARY OR MARCH.
5. SEED - SELECT AN APPROPRIATE PLANT SPECIES SEED OR SEED MIXTURE ON THE BASIS OF SOIL TYPE, SOIL PH, REGION OF THE STATE, TIME OF YEAR, AND INTENDED LAND USE OF THE AREA TO BE SEEDED (SEE TABLE 1 OR TABLE 2)
6. MULCH:
STRAW, HAY, WOOD FIBER, COMPOST, ETC.
(TO PROTECT SEEDBED, RETAIN MOISTURE
AND ENCOURAGE PLANT GROWTH).

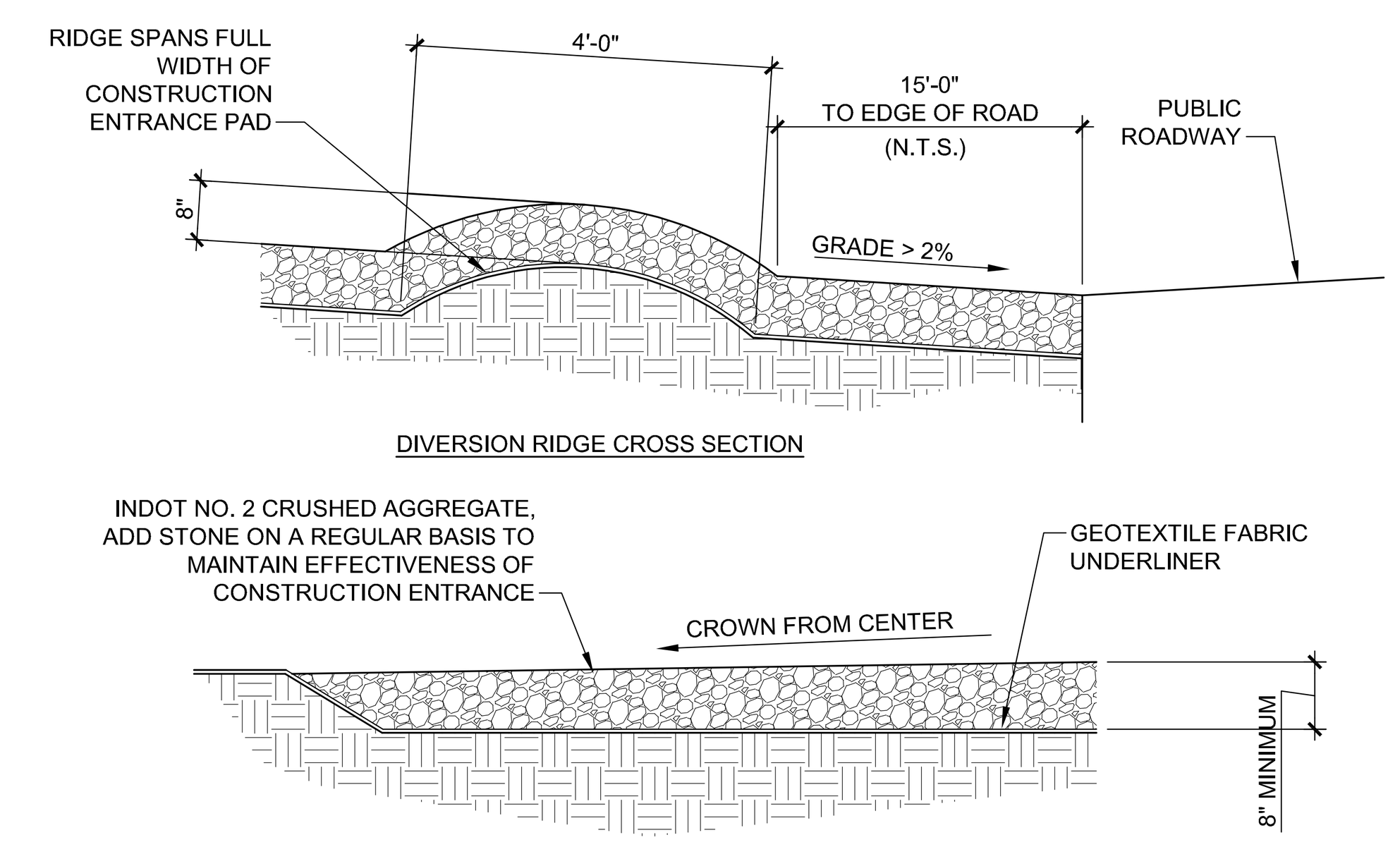
ANCHORED TO PREVENT REMOVAL BY WIND
OR WATER OR COVERED WITH
PREMANUFACTURED EROSION CONTROL BLANKETS.

PERMANENT SEEDING

REFER TO SPECIFICATION 329200 - LAWNS AND GRASSES FOR REQUIREMENTS RELATED TO PERMANENT SEEDING, INCLUDING MULCHING. REFER TO SPECIFICATION 329113 - SOIL PREPARATION FOR FINISH GRADING AND SOIL AMENDMENT REQUIREMENTS.

GEOTEXTILE FABRIC SPECIFICATIONS

PHYSICAL PROPERTY	WOVEN	NON-WOVEN
FILTERING EFFICIENCY	85%	85%
UV RESISTANCE (INHIBITORS AND STABILIZERS TO ENSURE SIX MONTH MINIMUM LIFE AT TEMPERATURES OF 0° TO 120° F)	70%	85%
TENSILE STRENGTH AT 20% ELONGATION: STANDARD STRENGTH / EXTRA STRENGTH	30 LBS./LINEAR INCH 50 LBS./LINEAR INCH	50 LBS./LINEAR INCH 70 LBS./LINEAR INCH
SLURRY FLOW RATE	0.3 GAL./MIN./SQ. FT.	4.5 GAL./MIN./SQ. FT.
WATER FLOW RATE	15 GAL./MIN./SQ. FT.	220 GAL./MIN./SQ. FT.



INSTALLATION:

1. REMOVE ALL VEGETATION MATERIAL FROM THE PAD AREA.
2. GRADE FOUNDATION AND CROWN FOR POSITIVE DRAINAGE. IF THE SLOPE OF THE CONSTRUCTION ENTRANCE IS TOWARD A PUBLIC ROAD AND EXCEEDS TWO PERCENT, CONSTRUCT AN EIGHT INCH HIGH DIVERSION RIDGE ACROSS THE FOUNDATION AREA 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE ROAD.
3. INSTALL A CULVERT PIPE UNDER THE PAD IF NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.
4. IF WET CONDITIONS ARE ANTICIPATED, PLACE GEOTEXTILE FABRIC ON THE GRADED FOUNDATION. PLACE AGGREGATE (INDOT CA NO. 2) LEAVING THE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
5. DIVERT ALL STORM WATER RUNOFF AND DRAINAGE FROM THE INGRESS/EGRESS PAD TO A SEDIMENT TRAP OR BASIN.

MAINTENANCE:

1. INSPECT DAILY.
2. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
3. TOP DRESS WITH CLEAN AGGREGATE AS NEEDED.
4. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS.
5. FLUSHING SHOULD ONLY BE USED IF THE WATER CAN BE CONVEYED INTO A SEDIMENT TRAP OR BASIN.

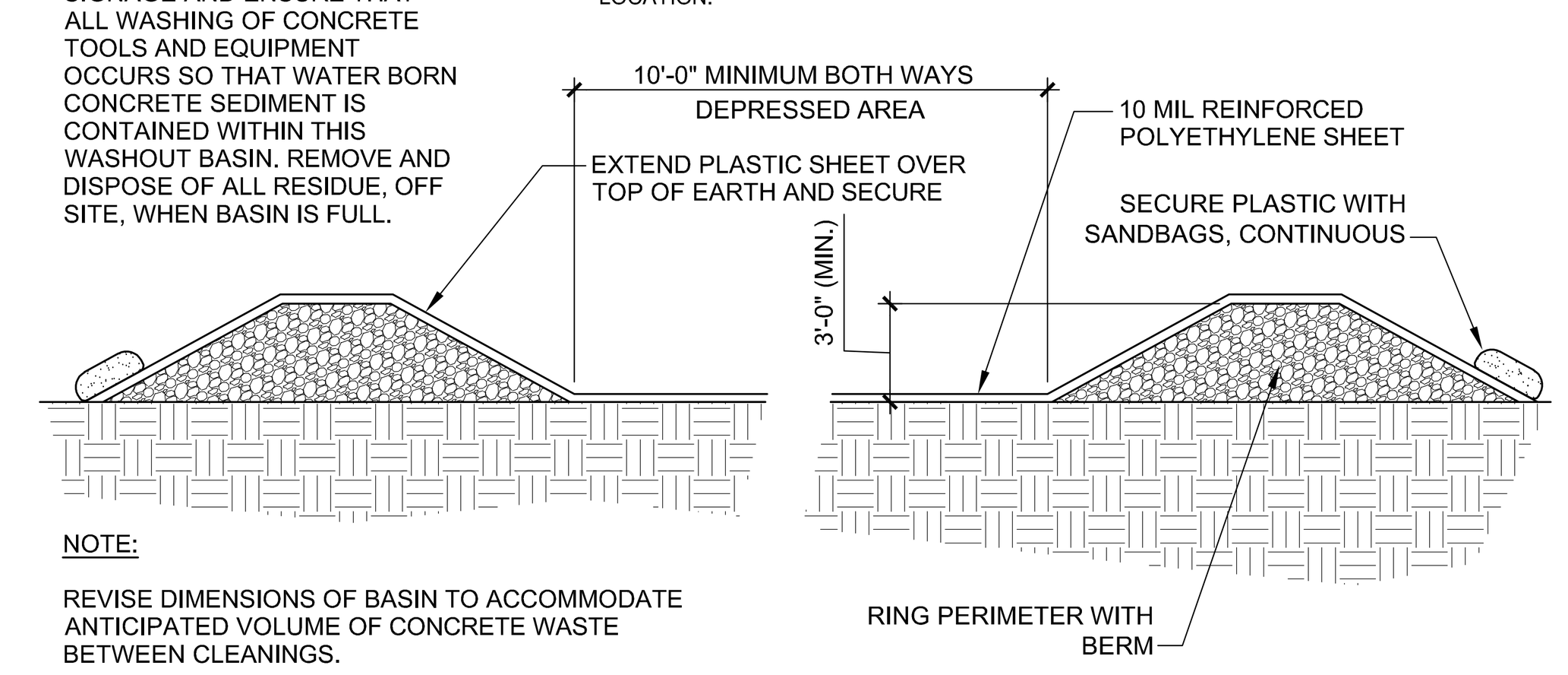
2 / EC2.1 **SECTION - TEMPORARY CONSTRUCTION ACCESS PAD**
1/2" = 1'-0"
0 6" 1' 2'

INSTALLATION:

1. GRADE THE BASIN AREA FREE OF ROCKS AND OTHER DEBRIS THAT MAY CAUSE TEARS OR PUNCTURES IN THE LINING.
2. INSTALL THE POLYETHYLENE LINING FULLY COVERING POOLING AREA AND EXTEND THE BERM. SECURE WITH SAND BAGS. PLACE FLAGS OR WARNING TAPE TO PREVENT DAMAGE FROM CONSTRUCTION EQUIPMENT.
3. INSTALL SIGNAGE THAT IDENTIFIES CONCRETE WASHOUT AREAS, DIRECTING CONTRACTORS AND SUPPLIERS TO DESIGNATED LOCATION.

NOTE:

CONTRACTOR SHALL PROVIDE SIGNAGE AND ENSURE THAT ALL WASHING OF CONCRETE TOOLS AND EQUIPMENT OCCURS SO THAT WATER BORN CONCRETE SEDIMENT IS CONTAINED WITHIN THIS WASHOUT BASIN. REMOVE AND DISPOSE OF ALL RESIDUE, OFF SITE, WHEN BASIN IS FULL.



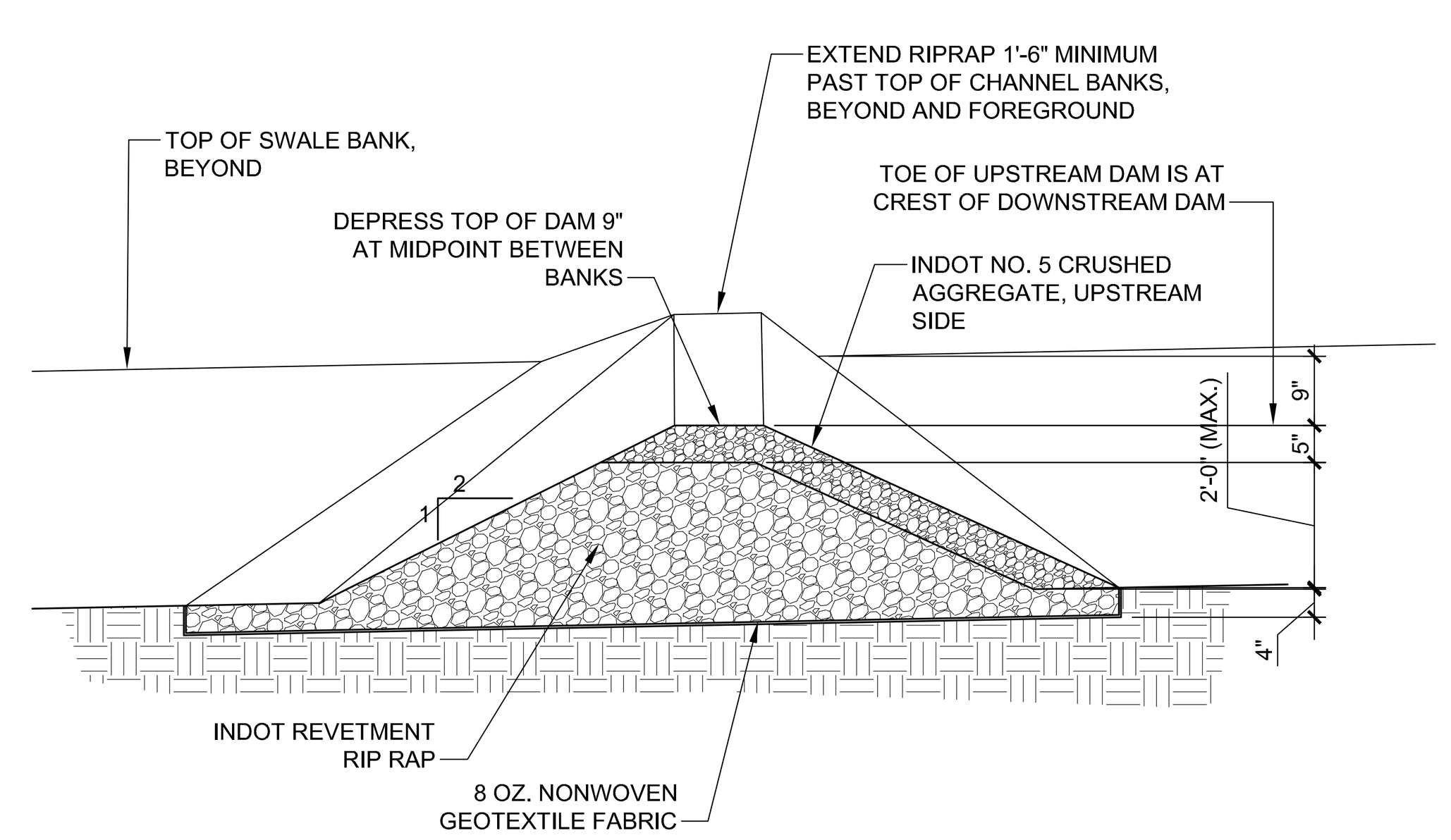
NOTE:

REVISE DIMENSIONS OF BASIN TO ACCOMMODATE ANTICIPATED VOLUME OF CONCRETE WASTE BETWEEN CLEANINGS.

MAINTENANCE:

1. INSPECT WEEKLY AND WITHIN 24 HOURS AFTER EACH STORM EVENT FOR STRUCTURAL INTEGRITY OF THE CONTAINMENT SYSTEM.
2. INSPECT FOR LEAKS, SPILLS, AND TRACKING OF SOIL BY EQUIPMENT.
3. INSPECT THE POLYETHYLENE LINING FOR TEARS AND PUNCTURES.
4. PLACE A NON-COLLAPSING, NON-WATER HOLDING COVER OVER THE WASHOUT FACILITY PRIOR TO A PREDICTED RAINFALL EVENT TO PREVENT ACCUMULATION OF WATER AND POSSIBLE OVERFLOW OF THE SYSTEM.
5. ONCE CONCRETE WASTE HARDENS, REMOVE AND DISPOSE OF THE MATERIAL. WHEN THE WASHOUT SYSTEM REACHES 50 PERCENT OF CAPACITY, DISCONTINUE USE OF THE BASIN TO CLEAN THE STRUCTURE. INSPECT AND REPAIR THE STRUCTURE AFTER REMOVAL OF WASTE.
6. DISPOSE OF ALL CONCRETE IN A LEGAL MANNER. REUSE THE MATERIAL ON SITE, RECYCLE, OR HAUL TO AN APPROVED LANDFILL SITE. RECYCLING OF MATERIAL IS ENCOURAGED. RECYCLE CONCRETE AND PLASTIC.
7. REPLACE THE PLASTIC LINER AFTER EVERY CLEANING. REMOVAL OF MATERIAL WILL USUALLY DAMAGE THE LINING. ENLARGE THE WASHOUT STRUCTURE AS NEEDED TO MAINTAIN SUFFICIENT CAPACITY FOR WASTE BEING PRODUCED.
8. CONCRETE WASHOUT SYSTEMS ARE DESIGNED TO PROMOTE EVAPORATION. HOWEVER, IF THE LIQUIDS DO NOT EVAPORATE AND THE SYSTEM IS NEAR CAPACITY IT MAY BE NECESSARY TO VACUUM OR REMOVE THE LIQUIDS AND DISPOSE OF THEM IN AN ACCEPTABLE METHOD. DISPOSE, IF ALLOWED, AT THE LOCAL SANITARY SEWER AUTHORITY, OR UTILIZE A SECONDARY CONTAINMENT SYSTEM FOR FURTHER DEWATERING.
9. INSPECT CONSTRUCTION ACTIVITIES ON A REGULAR BASIS TO ENSURE THAT SUBCONTRACTORS ARE UTILIZING DESIGNATED WASHOUT AREAS. IF CONCRETE WASTE IS BEING DISPOSED OF IMPROPERLY, IDENTIFY THE VIOLATORS AND NOTIFY AUTHORITIES.
10. WHEN CONCRETE WASHOUT SYSTEMS ARE NO LONGER REQUIRED, RECYCLE OR DISPOSE OF ALL HARDENED CONCRETE AND OTHER MATERIALS USED.
11. HOLES, DEPRESSIONS AND OTHER LAND DISTURBANCES ASSOCIATED WITH THE SYSTEM SHALL BE BACKFILLED, COMPACTED, GRADED AND STABILIZED.

3 / EC2.1 **CONCRETE WASHOUT BASIN**
1/2" = 1'-0"
0 6" 1' 2'



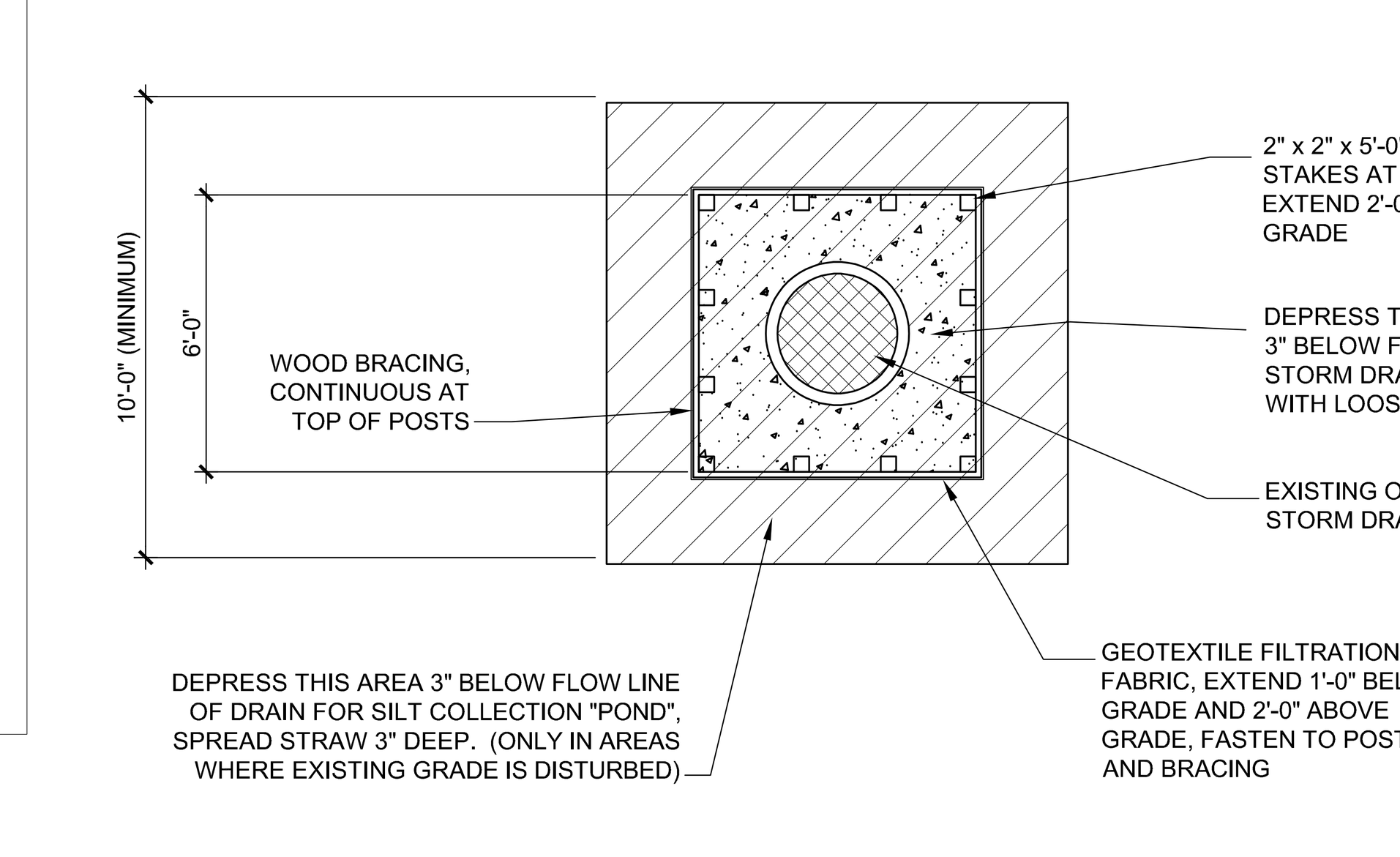
INSTALLATION:

1. LAY OUT THE LOCATION OF THE CHECK DAM.
2. EXCAVATE A CUTOFF TRENCH INTO THE CHANNEL BOTTOM AND DITCH BANKS, EXTENDING IT A MINIMUM OF 18 INCHES BEYOND THE TOP OF THE DITCH BANK.
3. INSTALL AND ANCHOR FILTER FABRIC IN THE CHANNEL AND CUTOFF TRENCH.
4. PLACE RIPRAP IN THE CUTOFF TRENCH AND CHANNEL TO THE LINES AND DIMENSIONS SHOWN IN THE CONSTRUCTION PLANS. THE CENTER OF EACH DAM MUST BE AT LEAST NINE INCHES LOWER THAN THE UPPERMOST POINTS OF CONTACT BETWEEN THE RIPRAP DAM AND CHANNEL BANKS.
5. EXTEND THE RIPRAP AT LEAST 18 INCHES BEYOND THE TOP OF THE CHANNEL BANKS.
6. PLACE INDOT NO.5 C.A. ON THE UP-SLOPE SIDE OF THE DAM, OVER THE ENTIRE FACE OF THE DAM UP TO THE BASE OF THE OVERFLOW WEIR NOTCH.
7. STABILIZE THE CHANNEL ABOVE THE UPPERMOST DAM.
8. INSTALL AN EROSION-RESISTANT LINING IN THE CHANNEL BELOW THE LOWERMOST DAM. THE LINING SHOULD EXTEND A MINIMUM DISTANCE OF SIX FEET BELOW THE DAM.
9. AS THE NEED ARISES, EXCAVATE A SMALL SEDIMENT TRAP ON THE UPSTREAM SIDE OF THE CHECK DAM.

MAINTENANCE:

1. INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
2. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, INSTALL AN EROSION-RESISTANT LINER IN THAT PORTION OF THE CHANNEL.
3. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES ONE-HALF THE HEIGHT OF THE DAM, TO MAINTAIN CHANNEL CAPACITY, ALLOW DRAINAGE THROUGH THE DAM, AND PREVENT LARGE FLOW FROM DISPLACING SEDIMENT.
4. ADD RIPRAP AND AGGREGATE AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION OF THE DAMS.
5. WHEN DAMS ARE NO LONGER NEEDED, REMOVE THE RIPRAP AND AGGREGATE AND STABILIZE THE CHANNEL, USING AN EROSION-RESISTANT LINING IF NECESSARY.

4 / EC2.1 **SECTION - ROCK CHECK DAM**
1/2" = 1'-0"
0 6" 1' 2'



GEOTEXTILE FABRIC DROP INLET INSTALLATION:

1. DIG AN 8" DEEP, 4" WIDE TRENCH AROUND THE PERIMETER OF THE INLET, 6'x6' IN AREA.
2. USE THE WRAP JOIN METHOD WHEN JOINING POSTS.
3. PLACE THE BOTTOM 12" OF FABRIC INTO THE EIGHT-INCH DEEP TRENCH, LAYING THE REMAINING FOUR INCHES IN THE BOTTOM OF THE TRENCH AND EXTENDING AWAY FROM THE INLET.
4. BACKFILL THE TRENCH WITH SOIL MATERIAL AND COMPACT IN PLACE.

MAINTENANCE:

1. INSPECT DAILY AND REPAIR DAMAGED FABRIC IMMEDIATELY.
2. REMOVE SEDIMENT FROM POOL AREA TO PROVIDE STORAGE FOR THE NEXT STORM EVENT. AVOID DAMAGING OR UNDERCUTTING FABRIC DURING SEDIMENT REMOVAL.
3. WIND CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE SEDIMENT, PROPERLY DISPOSE OF ALL CONSTRUCTION MATERIAL, GRADE AREA TO THE ELEVATION OF THE STORM DRAIN INLET TOP, THEN STABILIZE IMMEDIATELY.

5 / EC2.1 **PLAN - DROP INLET PROTECTION**
1/4" = 1'-0"
0 1' 2' 4'

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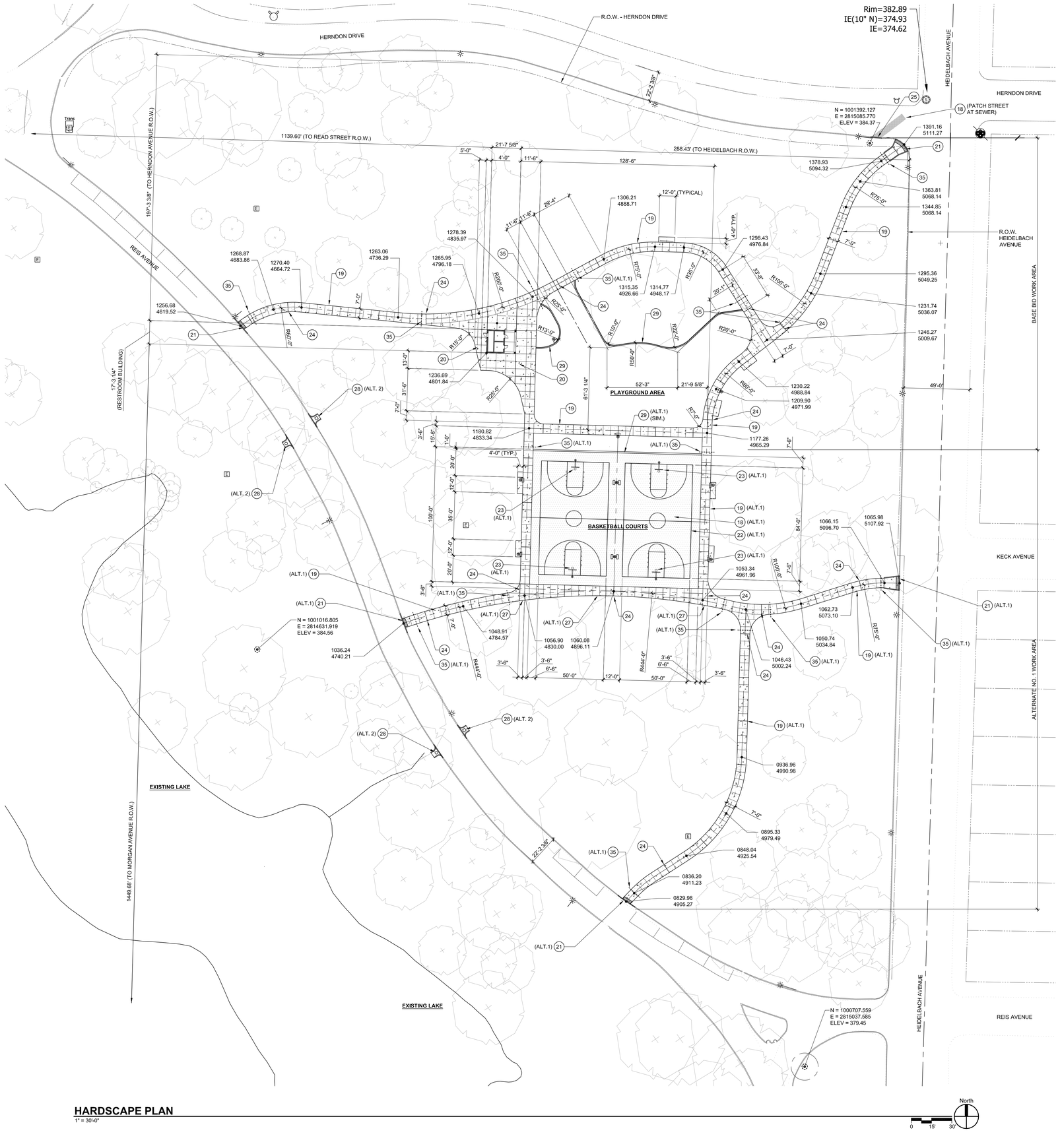
Revisions:

Designed By:	Drawn By:	Checked By:
D.E.	R.H.	D.E.

Sheet Title:
EROSION CONTROL DETAILS AND SWPPP

Architect's Project No.: 2402-146
Date: MAY, 2025

Drawing No:
EC2.1



HARDSCAPE PLAN

1" = 30'-0"

North

0 15' 30'

CONSTRUCTION SCHEDULE:

CONSTRUCTION OF WALKS, CURGS, GRADING AND RELATED WORK IN THE BASE BID AREA, IN THE VICINITY OF THE NEW PLAYGROUND, SHALL BE SUBSTANTIALLY COMPLETE BEFORE SEPTEMBER 1, 2025. NEW PLAYGROUND EQUIPMENT WILL BE INSTALLED UNDER SEPARATE CONTRACT ON THAT DATE. CONTRACTOR SHALL COORDINATE WITH THE PLAYGROUND EQUIPMENT INSTALLER TO EXPEDITE THE COMPLETION OF THE PLAYGROUND EQUIPMENT WORK, AND TO PROTECT INSTALLED WORK OF THE GENERAL CONTRACT. ONCE PLAYGROUND EQUIPMENT INSTALLATION IS COMPLETE, THE CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES AS NECESSARY TO PROTECT THE PLAYGROUND EQUIPMENT FROM DAMAGE CAUSED BY ONGOING CONSTRUCTION WORK, UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT.

REFERENCE NOTES:

1. CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
2. SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
3. STORM DRAIN INLET PROTECTION, REFER TO 5/EC2.1.
4. CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
5. TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
6. VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
7. SOIL STOCKPILE AREA.
8. SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
9. TREE PROTECTION ZONE.
10. REMOVE SITE FEATURE.
11. REMOVE AND SALVAGE SITE FEATURE.
12. REMOVE CONCRETE CURB.
13. REMOVE CONCRETE PAVEMENT.
14. REMOVE ASPHALT PAVEMENT.
15. EXISTING WALK OR PAVEMENT TO REMAIN.
16. REMOVE TREE.
17. REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
18. ASPHALT PAVEMENT.
19. CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1/L2.1, 4/L2.1.
20. CONCRETE PAVEMENT, T=5", REFER TO DETAIL 1/L2.1.
21. ACCESSIBLE CURB RAMP, REFER TO 6/L2.1.
22. ATHLETIC SURFACING AND STRIPING.
23. BASKETBALL GOAL, REFER TO 10/L2.1.
24. EXPANSION JOINT, REFER TO 2/L2.1, 3/L2.1.
25. CONCRETE CURB, 6"x18", REFER TO 7/L2.1.
26. CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
27. THICKENED SLAB EDGE, REFER TO 11/L2.1.
28. NEW STORM DRAINAGE FEATURES, REFER TO C102.
29. CONCRETE CURB, 10"x18", REFER TO 9/L2.1.
30. SITE FURNITURE - NOT IN CONTRACT.
31. BACKFILL WITH PLANTING SOIL.
32. STONE EDGING REFER TO 15/L2.1.
33. RESTORE LAWN AREA, SEED AND MULCH.
34. EROSION CONTROL FIBER MESH.
35. 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP, EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

GENERAL HARDSCAPE NOTES:

1. FIELD VERIFY ALL EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED FOR THE NEW CONSTRUCTION SHOWN.
2. CONTACT UTILITY COMPANIES TO VERIFY LOCATIONS OF ALL UTILITIES ABOVE AND BELOW GROUND. EXISTING UTILITIES SHALL BE LOCATED AND PROTECTED UNLESS NOTED TO BE REMOVED OR ABANDONED.
3. PROTECT EXISTING PAVEMENT TO REMAIN AND MAINTAIN TRAFFIC DURING CONSTRUCTION.
4. REPLACE ALL DRIVES, WALKS, CURBS, STREET PAVEMENT, ETC. DAMAGED DURING CONSTRUCTION, AND MATCH EXISTING MATERIALS AS MINIMUM REQUIREMENTS.
5. PROVIDE EXPANSION AND CONTROL JOINTS IN WALKS AND CURBS AT 30'-0" O.C. JOINTS IN SIDEWALKS SHALL CONTINUE ACROSS AND DOWN THE FACE OF CURBS.
6. PROVIDE ISOLATION AND SEALANT JOINTS IN ALL LOCATIONS WHERE CONCRETE SLABS ABUT STRUCTURES, BUILDINGS, WALLS AND OTHER VERTICAL SITE FEATURES.
7. ADJUST ELEVATIONS OF ALL STRUCTURES TO REMAIN, (IE., MANHOLES, METERS, COVERS, CATCH BASINS, CLEANOUTS, DRAINS, ETC.) TO BE FLUSH WITH NEW PAVEMENT OR NEW FINISHED GRADE.
8. UNLESS NOTED OTHERWISE, PROVIDE A LIGHT BROOM FINISH FOR ALL EXTERIOR CONCRETE PAVEMENT AND CURBS.
9. CURB RADII FOR WALKS SHALL BE 7'-0" UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS ARE TO FACE OF FOUNDATION, FACE OF CURB, EDGE OF PAVEMENT OR CENTERLINE UNLESS NOTED OTHERWISE.

AREA PLAN COMMISSION:

BASE AREA, EXISTING BUILDING:	0 SF
BASE AREA, NEW BUILDING:	374 SF
HEIGHT OF NEW BUILDING:	13'-6"
NUMBER OF STORIES, NEW BUILDING:	1
NUMBER OF EMPLOYEES:	0
NUMBER OF COMPANY VEHICLES:	0
NUMBER OF SEATS:	N.A.
PARKING REQUIRED:	N.A.
PARKING PROVIDED:	0
FLOOD ZONE:	X

GARVIN PARK ACTIVITY ZONE

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Revisions:

Designed By:	Drawn By:	Checked By:
D.E.	R.H.	D.E.

Sheet Title:

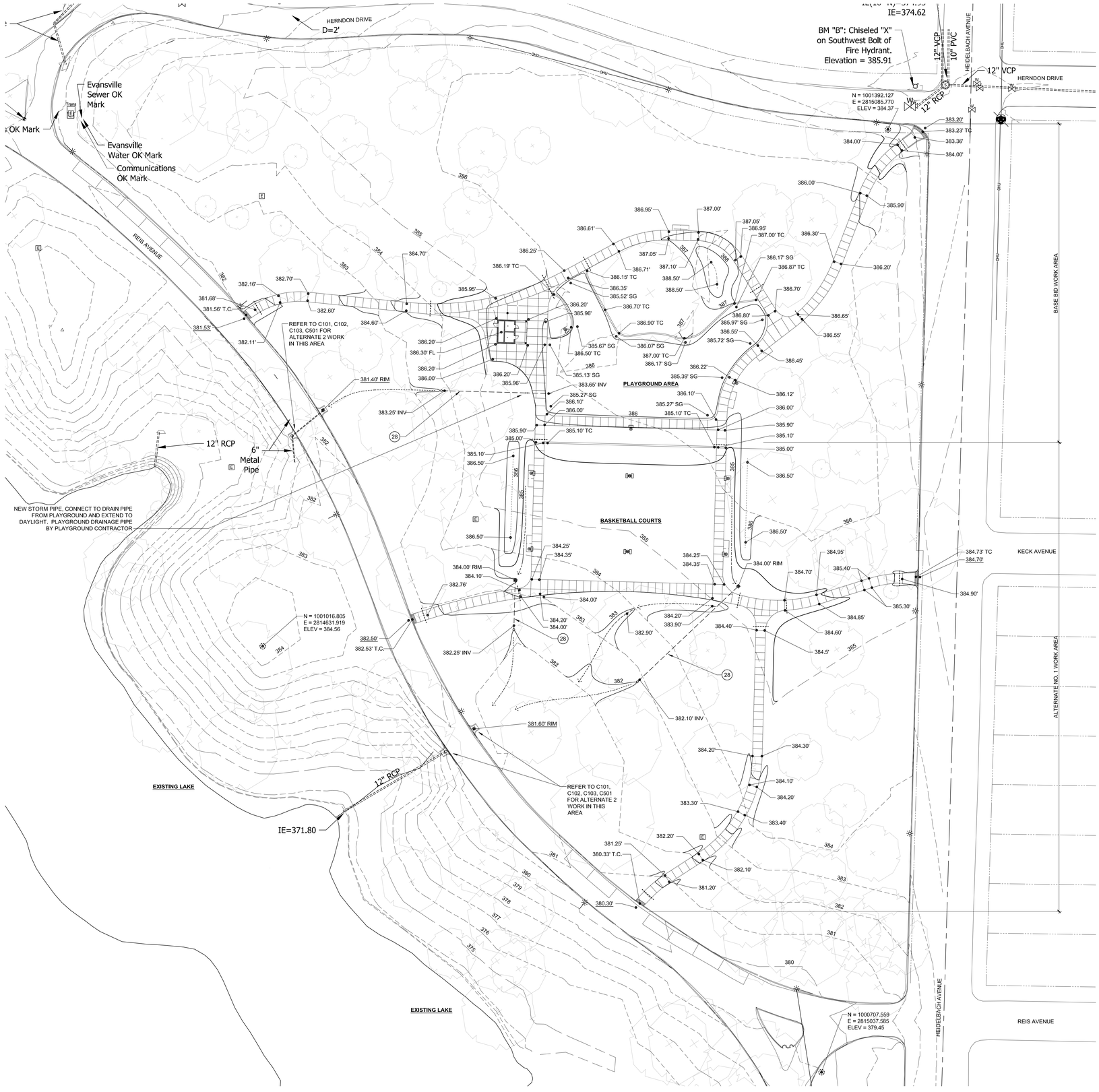
HARDSCAPE PLAN

Architect's Project No. 2402-146

Date: MAY, 2025

Drawing No:

L1.1



GRADING PLAN
1" = 30'-0"

North

0 15' 30'

REFERENCE NOTES:

1. CONSTRUCTION AREA BOUNDARY. DO NOT DISTURB PARK PROPERTY BEYOND THIS LINE.
2. SHEET FLOW SILTATION BARRIER REFER TO 1/EC2.1, 4/EC2.1.
3. STORM DRAIN INLET PROTECTION, REFER TO 5/EC2.1.
4. CONSTRUCTION ENTRANCE DRIVEWAY PAD, 20' x 80' REFER TO 2/EC2.1.
5. TEMPORARY CONCRETE WASHOUT BASIN. REFER TO 3/EC2.1.
6. VEGETATED BUFFER STRIP, 10'-0" WIDE, MINIMUM.
7. SOIL STOCKPILE AREA.
8. SECURITY FENCE AND GATE AT CONSTRUCTION ENTRANCE.
9. TREE PROTECTION ZONE.
10. REMOVE SITE FEATURE.
11. REMOVE AND SALVAGE SITE FEATURE.
12. REMOVE CONCRETE CURB.
13. REMOVE CONCRETE PAVEMENT.
14. REMOVE ASPHALT PAVEMENT.
15. EXISTING WALK OR PAVEMENT TO REMAIN.
16. REMOVE TREE.
17. REMOVE TOPSOIL TO DEPTH OF SIX INCHES.
18. ASPHALT PAVEMENT.
19. CONCRETE WALK 7'-0" WIDE, T=5", REFER TO DETAILS 1/L2.1, 4/L2.1.
20. CONCRETE PAVEMENT, T=5", REFER TO DETAIL 1/L2.1.
21. ACCESSIBLE CURB RAMP, REFER TO 6/L2.1.
22. ATHLETIC SURFACING AND STRIPING.
23. BASKETBALL GOAL, REFER TO 10/L2.1.
24. EXPANSION JOINT, REFER TO 2/L2.1, 3/L2.1.
25. CONCRETE CURB, 6"x18", REFER TO 7/L2.1.
26. CURB HEIGHT TAPERS TO FLUSH WITH PAVEMENT.
27. THICKENED SLAB EDGE, REFER TO 11/L2.1.
28. NEW STORM DRAINAGE FEATURES, REFER TO C102.
29. CONCRETE CURB, 10"x18", REFER TO 9/L2.1.
30. SITE FURNITURE - NOT IN CONTRACT.
31. BACKFILL WITH PLANTING SOIL.
32. STONE EDGING REFER TO 15/L2.1.
33. RESTORE LAWN AREA, SEED AND MULCH.
34. EROSION CONTROL FIBER MESH.
35. 2" DIAMETER SCHEDULE 40 PVC PIPE SLEEVE BELOW WALK, 1'-4" DEEP, EXTEND 2'-0" BEYOND EDGE OF PAVEMENT AND CAP FOR FUTURE USE.

GENERAL GRADING PLAN NOTES:

1. MAXIMUM SLOPE OF ALL BASKETBALL COURTS SHALL BE .08%.
2. MAXIMUM CROSS SLOPE ON WALKS: 1.9%.
3. MAXIMUM RUNNING SLOPE ON WALKS: 5% UNLESS INDICATED OTHERWISE.
4. MINIMUM SLOPE IN LAWN AREAS: 2.0%.
5. EXISTING SPOT ELEVATIONS AND CONTOURS INDICATED ON THIS PLAN ARE APPROXIMATE.
6. EXCEPT IN LAWN AREAS, ALL FILL SHALL BE SUITABLE FILL OR ENGINEERED FILL.
7. FILL SOILS SHALL BE PLACED ONLY WHEN MOISTURE CONTENT IS WITHIN 2% OF OPTIMUM, PER MODIFIED PROCTOR METHOD.
8. PERFORM EARTHMOVING WORK ONLY WHEN WEATHER CONDITIONS ARE WARM AND DRY.
9. PERFORM FINISH GRADING AND SOIL PREPARATION IN ALL LAWN AREAS. FINAL GRADE SHALL BE SMOOTH ENOUGH TO PERMIT CONVENIENT MOWING USING A SMALL-WHEELED, WALK-BEHIND MOWER.

FLOOD ZONE: X

LEGEND:

101.21'	EXISTING SPOT ELEVATION
101.21'	NEW SPOT ELEVATION
101.21' TC	NEW SPOT ELEVATION, TOP OF CURB
101.21' TW	NEW SPOT ELEVATION, TOP OF WALL
101.21' SG	NEW SPOT ELEVATION, SUBGRADE
101.21' FL	NEW SPOT ELEVATION, FLOOR LINE OF BUILDING
	NEW CONTOUR
	EXISTING CONTOUR
	SWALE

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Revisions:

Designed By:	Drawn By:	Checked By:
D.E.	R.H.	D.E.

Sheet Title:

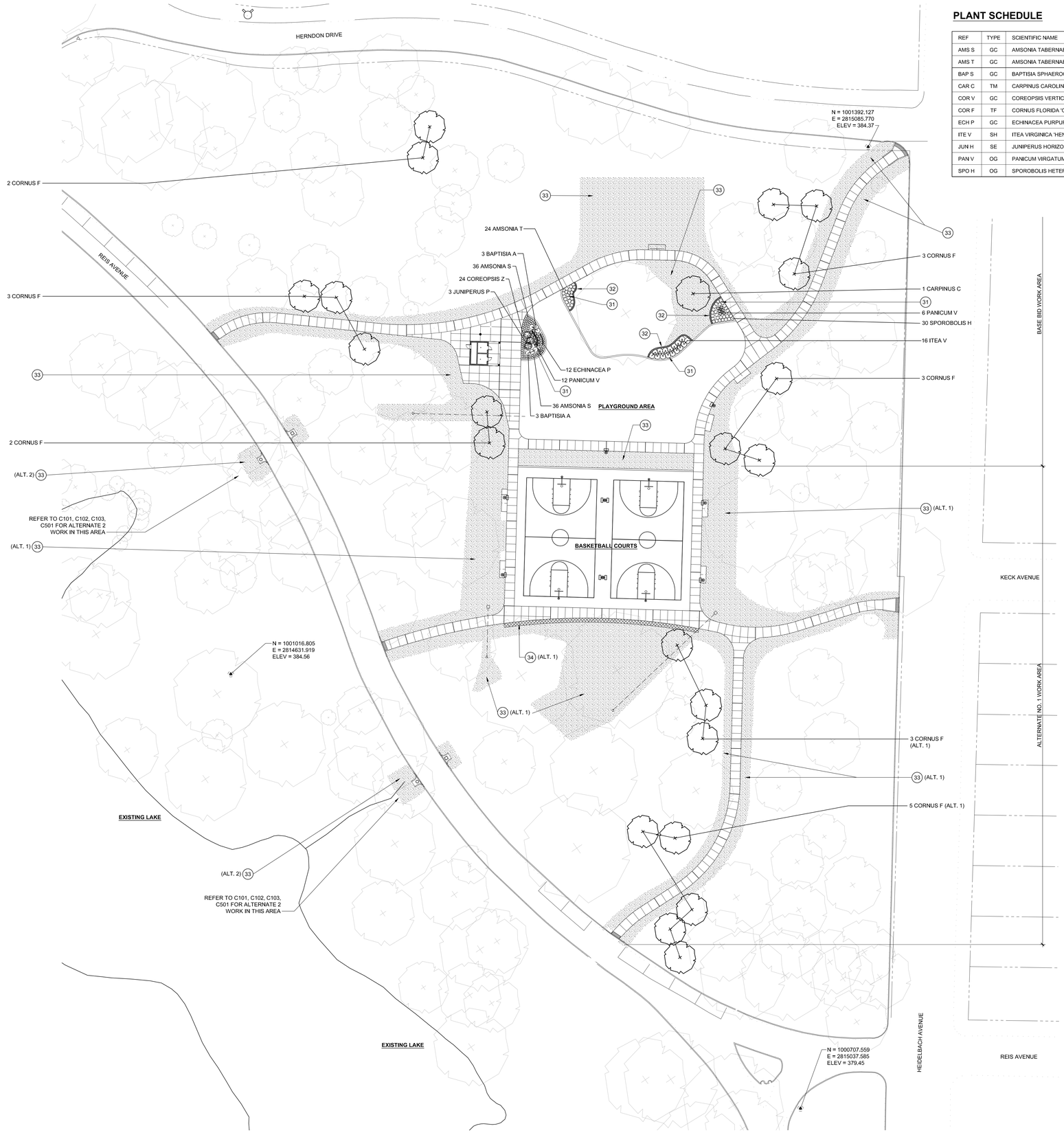
GRADING PLAN

Architect's Project No. 2402-146

Date: MAY, 2025

Drawing No:

L1.2



LANDSCAPE PLAN

1" = 30'-0"

North

0 15' 30

PLANT SCHEDULE

REF	TYPE	SCIENTIFIC NAME	COMMON NAME	SIZE / CONTAINER	NOTES	SPACING	REMARKS
AMS S	GC	AMSONIA TABERNAEMONTANA 'SHORTSTACK'	MONTANA BLUESTAR	#1 POT	M-1	1'-6" O.C.	
AMS T	GC	AMSONIA TABERNAEMONTANA	MONTANA BLUESTAR	#1 POT	4, M-1	2'-0" O.C.	
BAP S	GC	BAPTISIA SPHAEROCARPA 'SCREAMIN YELLOW'	YELLOW WILD INDIGO	2'-0"W x 2'-0" H	M-1	3'-6" O.C.	
CAR C	TM	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2 1/2" CALIPER	3,4		
COR V	GC	COREOPSIS VERTICILLATA 'ZAGREB'	THREADLEAF COREOPSIS	#1 POT	M-1	1'-6" O.C.	
COR F	TF	CORNUS FLORIDA 'CHEROKEE PRINCESS'	DOGWOOD	2 1/2" CALIPER	3, 4		
ECH P	GC	ECHINACEA PURPUREA 'PICA BELLA'	PURPLE CONEFLOWER	#1 POT	M-1	2'-0" O.C.	
ITE V	SH	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA SWEETSPIRE	2'-0"W x 2'-0" H	M-3	4'-0" O.C.	
JUN H	SE	JUNIPERUS HORIZONTALIS 'PLUMOSA'	CREEPING JUNIPER	2;-6"W x 1'-0" H	M-6	4'-0" O.C.	
PAN V	OG	PANICUM VIRGATUM 'NORTHWIND'	SWITCH GRASS	#2 POT	M-1	2'-0" O.C.	
SPO H	OG	SPOROBOLIS HETEROLEPSIS	PRAIRIE DROPSEED	#1 POT	M-1	2'-0" O.C.	

MAINTENANCE NOTES:

M-1 CUT BACK TO ROOT FLAIR OR CLUMP IN WINTER.
M-2 DO NOT OVERWATER, ONCE ESTABLISHED.
M-3 PRUNE AFTER FLOWERING.
M-4 PRUNE ROOT SUCKERS.
M-5 PRUNE IN SUMMER ONLY.
M-6 NATURAL FORM DO NOT PRUNE.
M-7 PRUNE IN LATE WINTER.
M-8 MOW TWICE ANNUALLY.
M-9 WATER TWICE WEEKLY DURING DRY WEATHER.
M-10 MULCH OVER ROOT ZONE IN SUMMER.
M-11 MULCH OVER ROOT ZONE IN WINTER.

PLANT TYPES:

TM TREE, MEDIUM SIZE
TL TREE, LARGE SIZE
TF FLOWERING TREE
SH SHRUB - FLOWERING
SE SHRUB - EVERGREEN
GC GROUND COVER
OG ORNAMENTAL GRASS

PLANT SCHEDULE NOTES:

1. USE SPHAGNUM PEAT IN LIEU OF COMPOST IN PLANTING SOIL AND MULCH.
2. BACKFILL WITH 50% SAND AND 50% PLANTING SOIL.
3. BALL AND BURLAP.
4. NATIVE SPECIES, NO SUBSTITUTIONS
5. ORGANIC MULCH IN LIEU OF STONE MULCH.

TREE SUMMARY:

BASE BID:
LIVE TREES REMOVED: 7
DEAD TREES REMOVED: 1
NEW TREES PLANTED: 13

ALTERNATE NO. 1:
LIVE TREES REMOVED: 4
DEAD TREES REMOVED: 1
NEW TREES PLANTED: 8

REFERENCE NOTES:

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GENERAL LANDSCAPE NOTES:

1. LAYOUT ALL PLANTING LOCATIONS FOR APPROVAL OF THE ARCHITECT PRIOR TO INSTALLATION OF PLANTS. FINAL PLANT LOCATIONS MIGHT VARY FROM LOCATIONS INDICATED ON THIS DRAWING.
2. AFTER INSTALLATION OF TREES AND SHRUBS PROVIDE FINISH GRADING FOR ALL PLANTED AREAS, WITH POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WALKS, PRIOR TO INSTALLATION OF SOD, LAWN SEED, GROUND COVERS AND MULCH. ENSURE THAT THERE IS NO STANDING WATER IN LAWN OR PLANTING AREAS.
3. NEW LAWN AREAS SHALL BE SEEDED AND MULCHED, UNLESS SPECIFICALLY INDICATED TO BE SOD.
4. SEED, MULCH AND RENOVATE ALL EXISTING LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES THAT ARE NOT INDICATED FOR NEW LAWN.
5. MARK OUTLINE OF PLANTER BEDS ON GROUND FOR ARCHITECT'S REVIEW. DO NOT INSTALL EDGING WITHOUT ARCHITECT'S APPROVAL.
6. REMOVE ALL EXISTING WEEDS IN AREAS WHERE NEW LAWN, PLANT BEDS, AND LAWN RESTORATION WILL OCCUR BEFORE COMMENCING INSTALLATION OF PLANTS.
7. PERFORM FINISH GRADING PER SPECIFICATION 312001. PERFORM SOIL PREPARATION PER SPECIFICATION 329113.
8. AFTER INSTALLATION, PERFORM EXTENDED MAINTENANCE OF TREES AND SHRUBS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO PERMANENTLY ESTABLISH HEALTHY VIABLE PLANTINGS. PROVIDE TEMPORARY IRRIGATION IF NEEDED TO ESTABLISH LAWN.
9. PLANTING SOIL, LAWN INSTALLATION AND LAWN RESTORATION SHALL BE INCLUDED IN THE BASE BID.
10. TREES, SHRUBS AND EDGINGS SHALL BE INCLUDED IN ALTERNATE 3.

GARVIN PARK ACTIVITY ZONE

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DANIEL B. ENGELBACH REGISTERED No 80860027 STATE OF INDIANA LANDSCAPE ARCHITECT

Revisions:

Designed By:	Drawn By:	Checked By:
D.E.	R.H.	D.E.

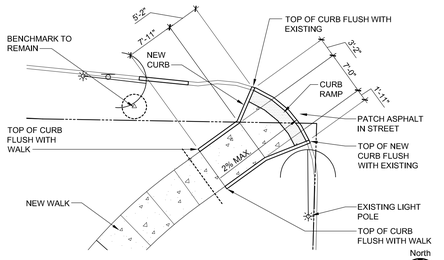
Sheet Title:

LANDSCAPE PLAN

Architect's Project No. 2402-146
Date: MAY, 2025

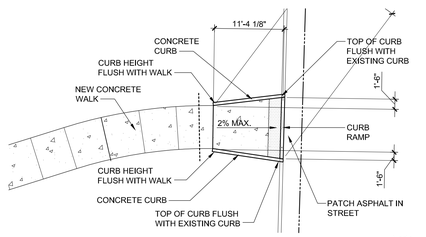
Drawing No:

L1.3



CURB RAMP PLAN - HERNDON / HEIDELBACH

1" = 10'-0"



CURB RAMP PLAN - KECK / HEIDELBACH

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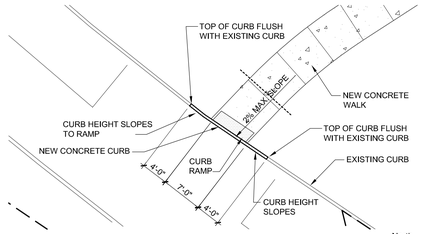
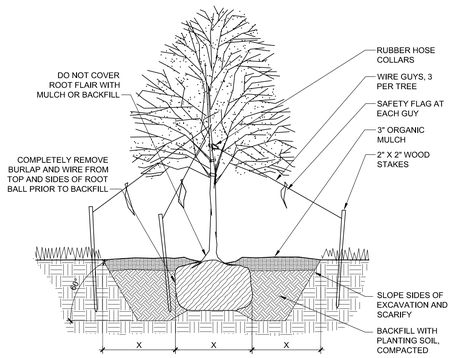


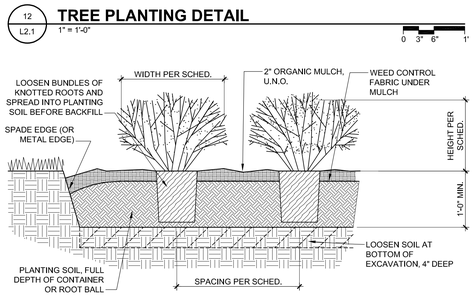
CURB RAMP PLAN - REIS AVENUE (TYPICAL)

1" = 10'-0"



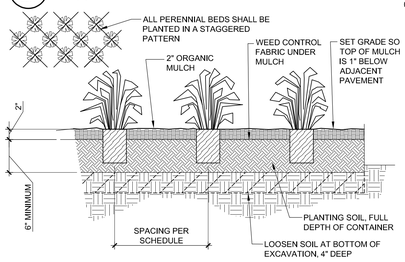
12 L2.1 TREE PLANTING DETAIL

1" = 1'-0"



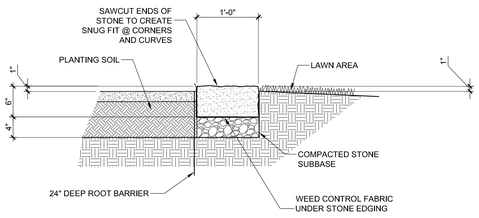
13 L2.1 SHRUB PLANTING DETAIL

1" = 1'-0"



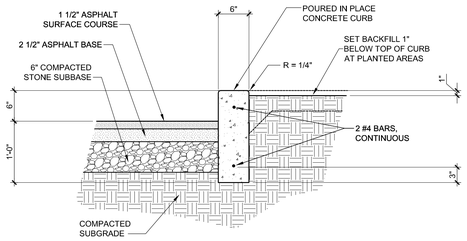
14 L2.1 GROUND COVER PLANTING DETAIL

1" = 1'-0"



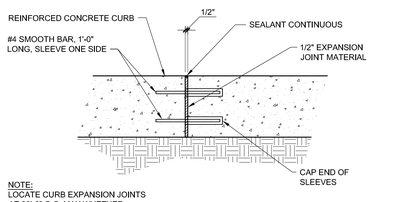
15 L2.1 STONE EDGING AT SHRUB BED

1" = 1'-0"



7 L2.1 CURB SECTION - STREET

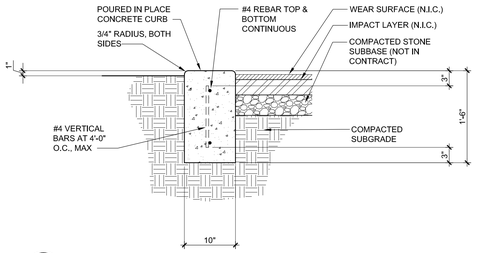
1" = 1'-0"



NOTE:
LOCATE CURB EXPANSION JOINTS AT 30'-0" O.C. MAX WHETHER INDICATED ON PLANS OR NOT.

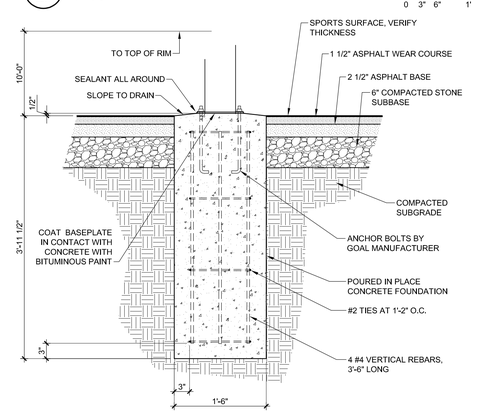
8 L2.1 CURB EXPANSION JOINT

1" = 1'-0"



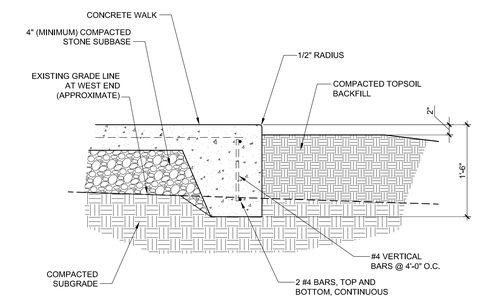
9 L2.1 CURB SECTION - PLAYGROUND

1" = 1'-0"



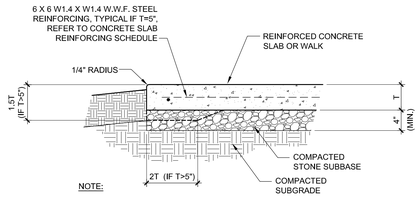
10 L2.1 BASKETBALL GOAL FOUNDATION DETAIL

1" = 1'-0"



11 L2.1 SLAB EDGE SECTION - SOUTH WALK

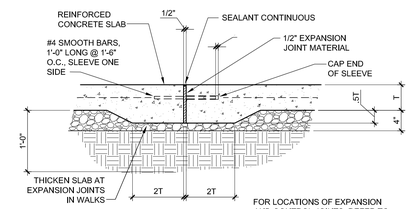
1" = 1'-0"



NOTE:
THIS DETAIL IS TYPICAL AT THE PERIMETER OF ALL CONCRETE SLABS AT THE BUILDING EXTERIOR. REFER TO SLAB REINFORCING TABLE FOR REQUIRED STEEL OR FIBER REINFORCING. THICKEN SLAB EDGES IF T>5".

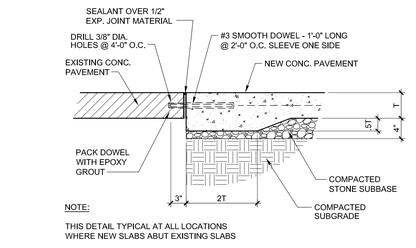
1 C2.1 TYPICAL SLAB EDGE

1" = 1'-0"



2 L2.1 SLAB EXPANSION JOINT AT WALK

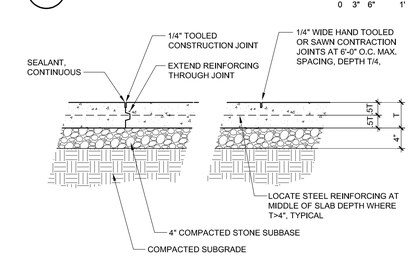
1" = 1'-0"



NOTE:
THIS DETAIL TYPICAL AT ALL LOCATIONS WHERE NEW SLABS ABUT EXISTING SLABS

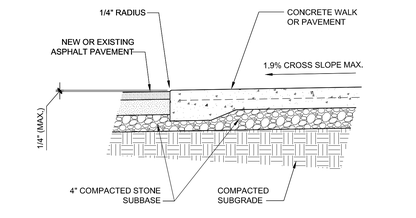
3 L2.1 EXISTING SLAB JOINT

1" = 1'-0"



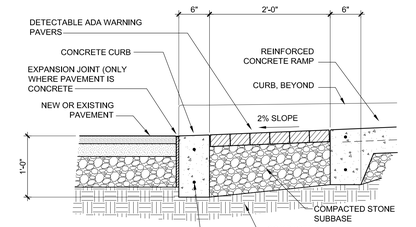
4 L2.1 CONSTRUCTION & CONTRACTION JOINTS

1" = 1'-0"



5 L2.1 WALK FLUSH WITH PAVEMENT

1" = 1'-0"



6 L2.1 ADA WARNING PAVERS AT RAMP

1" = 1'-0"

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Revisions:

Designed By:	Drawn By:	Checked By:
D.E.	R.H.	D.E.

Sheet Title:

SITE DETAILS

Architect's Project No.: 2402-146

Date: MAY, 2025

Drawing No:

L2.1