

# HARTKE POOL INSURANCE REMEDIATION

## CITY OF EVANSVILLE

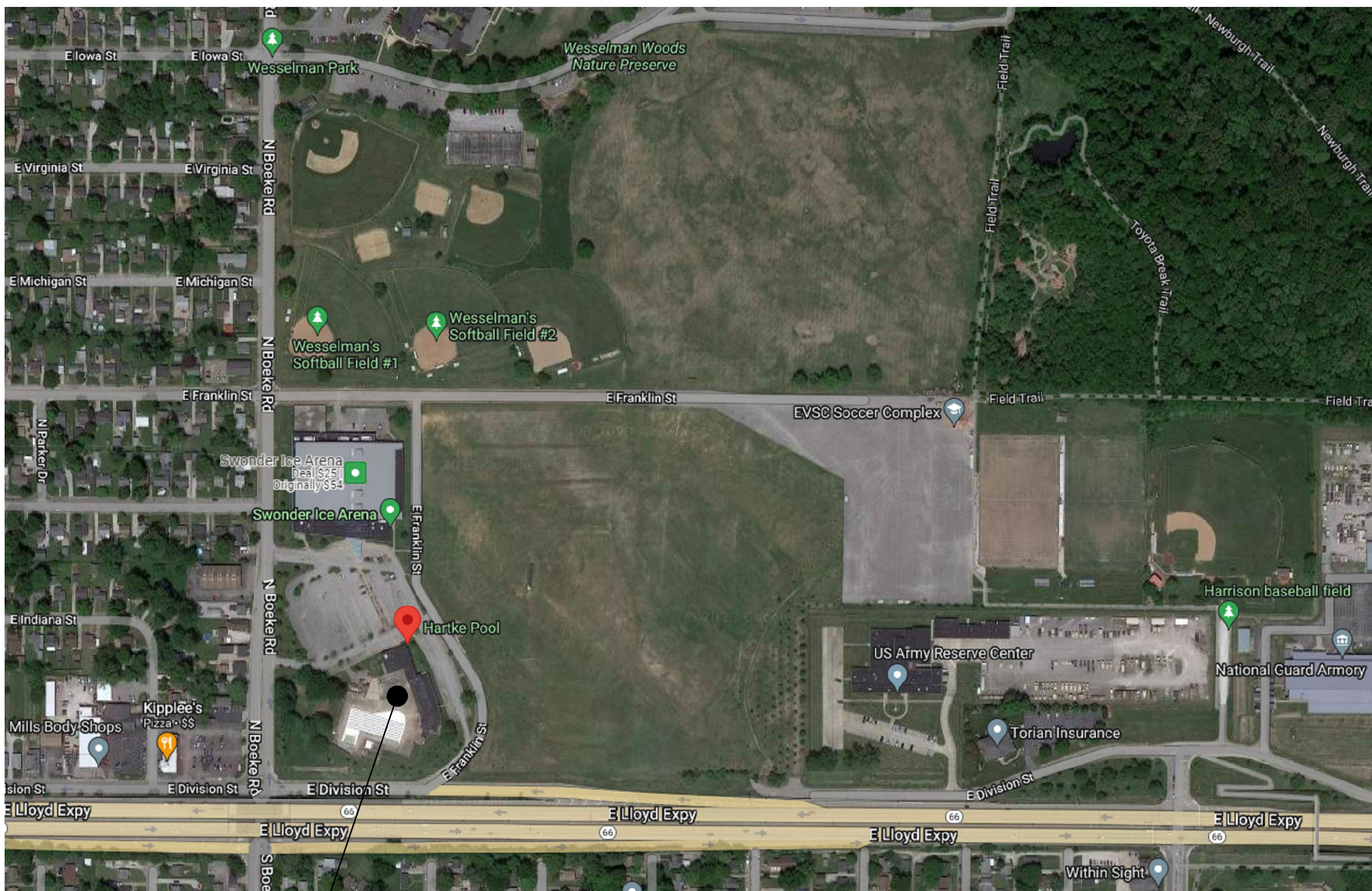
201 N BOEKE RD, EVANSVILLE, INDIANA 47711



EVANSVILLE, INDIANA



THREE i DESIGN  
ENGINEERING + ARCHITECTURE  
WWW.THREEIDESIGN.COM EVANSVILLE, IN 812-423-6800



PROJECT LOCATION

LOCATION PLAN  
EVANSVILLE, INDIANA  
SCALE: NONE

### DRAWING INDEX

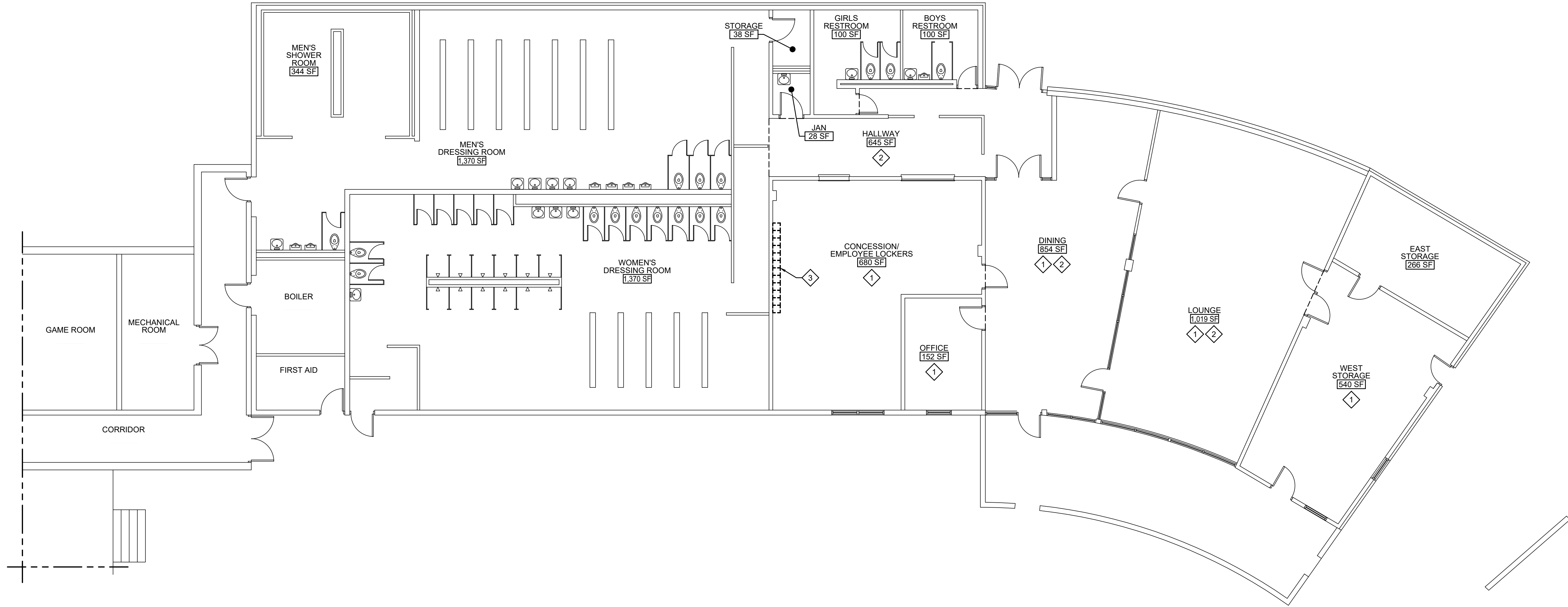
GENERAL - ARCHITECTURAL	
SHEET NUMBER	SHEET NAME
CS	COVER SHEET
A1	DEMOLITION PLAN
A2	REMODEL PLAN
A3	REFLECTED CEILING PLAN AND LIGHTING NOTES
A4	ROOF PLAN

PROJECT NO: 23063A





Mar 07, 2023 - 9:17am N:\Clients\A\F\City of Evansville\23063A-Hartke Pool Storm Damage\23063AA1.dwg Plotted By: \$(GETVAR ??)



**DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

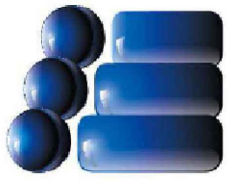
# **DEMOLITION KEYNOTES:**

1. REMOVE MISCELLANEOUS ITEMS INCLUDING BUT NOT LIMITED TO, FURNITURE, EQUIPMENT, TOTES, CLOTHES, ETC.
2. REMOVE REMAINING CEILING PANELS AND FIXTURES WHERE APPLICABLE. REMOVE ENTIRE SUSPENDED CEILING GRID SYSTEM. CLEAN AND PREPARE WALLS AS REQUIRED FOR NEW GRID INSTALLATION.
3. REMOVE EXISTING LOCKERS AND BASE. CLEAN AND PREP FOR REINSTALLATION.

**LEGEND:**

- EXISTING CONDITION TO REMAIN
- ITEMS TO BE REMOVED
- ROOM NAME  
APPROX. SQUARE FOOTAGE
- EXTENTS OF FLOOR REMOVAL
- DEMOLITION KEYED NOTE
- EXTENTS CEILING/GRID REMOVAL

NOTE: OFFICE CONCESSIONS/EMPLOYEE LOUNGE CALL FOR REMOVAL OF LAY-IN CEILING AND GRID IN INSURANCE DOCUMENT. NO LAY-IN CEILING AND GRID WAS PRESENT IN THESE ROOMS.



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REV	DATE	BY	ITEM
A	02/28/23	MRB	ISSUED FOR REVIEW
B	03/07/23	MRB	ISSUED FOR BID

**HARTKE POOL INSURANCE REMEDIATION  
CITY OF EVANSVILLE  
201 N BOEKE RD, EVANSVILLE, IN 47711**

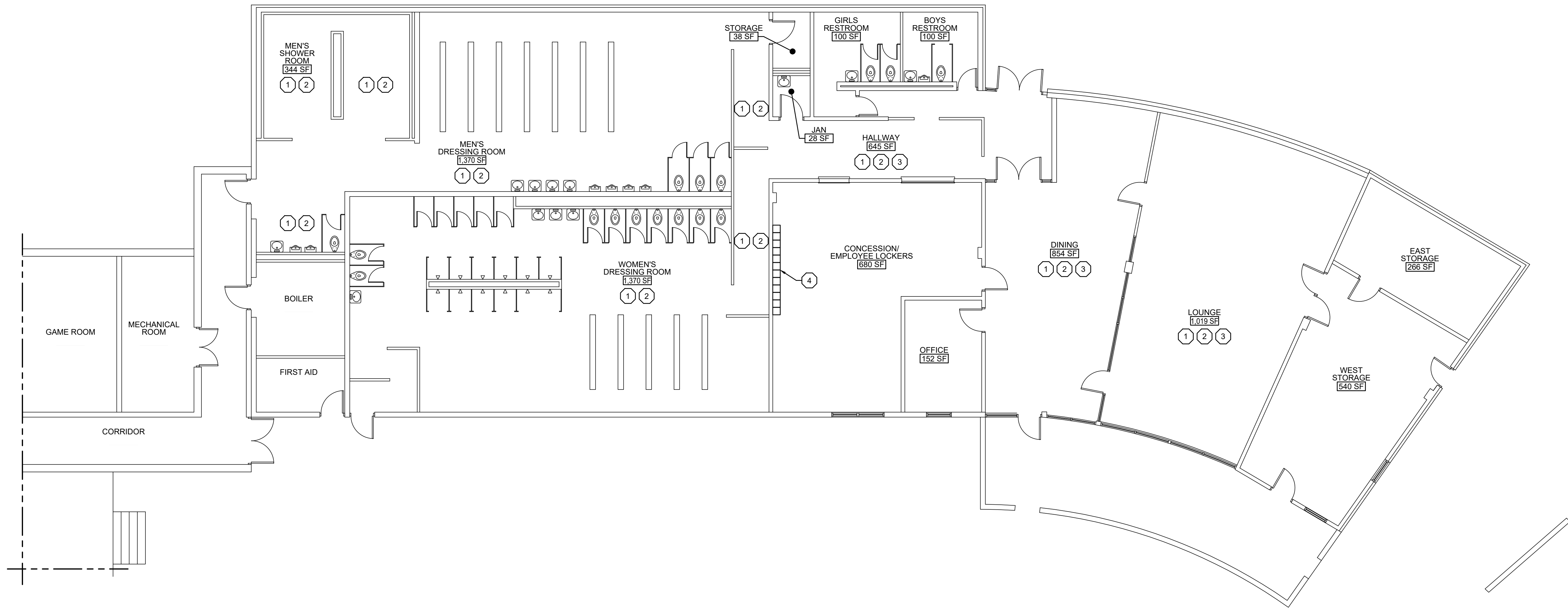
DEMOLITION PLAN

DRAWN BY: AWM	DESIGNED BY: MRB
CHECKED BY: MRB	DATE: 02/24/23
SCALE: 1/8" = 1' - 0"	
PROJECT NUMBER: 23063A	
SHEET NO:	

**A1**  
2 of 5

**BID**  
03/07/23

Mar 07, 2023 - 9:18am N:\Clients\A\F\City of Evansville\23063A-Hartke Pool Storm Damage\23063A2.dwg Plotted By: \$(GETVAR ??)



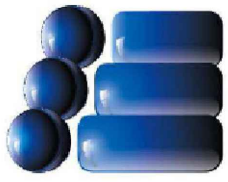
**REMODEL PLAN**  
SCALE: 1/8" = 1'-0"

# **CONSTRUCTION KEYNOTES:**

1. THOROUGHLY/HEAVY CLEAN CEILINGS, WALLS, AND FLOORS IN ACCORDANCE WITH INSURANCE DOCUMENTS.
2. APPLY ANTI-MICROBIAL [CLEANING] AGENTS TO ALL SURFACES (WALLS, CEILINGS/DOUBLE TEE ROOF STRUCTURE, FLOORS, [TOILET PARTITIONS AND FIXTURES WHERE APPLICABLE] IN ACCORDANCE WITH INSURANCE DOCUMENTS.
3. PROVIDE AND INSTALL NEW CEILING SYSTEM IN THIS AREA - SEE REFLECTED CEILING PLAN ON SHEET A3.
4. REINSTALL EXISTING LOCKERS AND BASE IN ORIGINAL LOCATION. REPLACE BASE IF NECESSARY.

**LEGEND:**

- EXISTING CONDITION TO REMAIN
- ROOM NAME  
APPROX. SQUARE FOOTAGE
- CHANGE IN FLOOR COVERING  
PROVIDE APPROPRIATE  
TRANSITION STRIPS AS REQUIRED
- CONSTRUCTION KEYED NOTE



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A	02/28/23	MRB	ISSUED FOR REVIEW
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**HARTKE POOL INSURANCE REMEDIATION  
CITY OF EVANSVILLE  
201 N BOEKE RD, EVANSVILLE, IN 47711**

REMODEL PLAN

DRAWN BY: AWM	DESIGNED BY: MRB
CHECKED BY: MRB	DATE: 02/24/23

SCALE:  
1/8" = 1' - 0"

PROJECT NUMBER:  
**23063A**

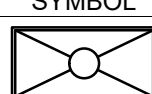
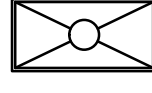
SHEET NO:

**A2**  
3 of 5

**BID**  
03/07/23



Mar 07, 2023 - 9:25am N:\Clients\A\F\City of Evansville\23063A\Hartke Pool Storm Damage\23063A\3.dwg Plotted By: \$(GETVAR ??)

LIGHTING FIXTURE SCHEDULE							
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	LAMP	LUMENS	WATTS	REMARKS
	BASE BID - 2'x4', LAY-IN GRID, 2 T8 LAMPS, FLUSH STEEL, WHITE, #12 PATTERN ACRYLIC, MULTI-VOLT BALLAST.	LITHONIA	2GT8-2-32-A12-MVOLT	T-8	3000	56	PROVIDE AND INSTALL NEW 3500K LAMPS.
	ALTERNATE EA1 - 2'x4', LAY-IN GRID, 3000 LUMENS, LED, FLUSH STEEL, WHITE, #12 PATTERN ACRYLIC, MULTI-VOLT, DIMS TO 10% (0-10V DIMMING), 3500K.	LITHONIA	2GTL-4-30L-GZ10-LP835	LED	2983	23.3	

### REFLECTED CEILING / LIGHTING PLAN KEYNOTES:

- EXISTING CEILING SYSTEM AND/OR FIXTURES TO REMAIN, PROTECT DURING DURATION OF CONSTRUCTION.
- NEW LAY-IN ACOUSTICAL CEILING GRID SYSTEM AND PANELS. SEE SPECIFICATIONS, THIS SHEET.
- CONTRACTOR TO PROVIDE AND INSTALL LIGHT FIXTURES AS SHOWN. USE EXISTING CONDUIT AND WIRE.
- CONTRACTOR TO PROVIDE AND INSTALL JBL PROFESSIONAL COMMERCIAL SERIES 5 WATT SPEAKERS AS SHOWN. USE EXISTING CONDUIT AND WIRE.

### PRODUCT SPECIFICATIONS:

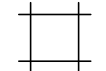

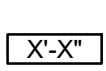
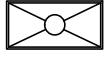
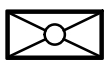
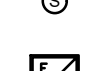


ACOUSTICAL LAY-IN PANEL:  
THE FOLLOWING PRODUCTS ARE BASIS-OF-DESIGN FOR PRODUCT COMPARISON ONLY. PROVIDE PRODUCTS BY ONE OF THE FOLLOWING MANUFACTURERS:

ARMSTRONG  
CERTAIN TEED  
USG

ACOUSTICAL LAY-IN PANELS SHALL BE USG MARS #86100, 24"x24"x7/8" SQUARE EDGE CEILING PANEL WITH GALVANIZED 15/16" PRELUDE EXPOSED TEE GRID SYSTEM, WHITE ENAMEL FINISH BY ACOUSTICAL SOLUTIONS INC. (INSURANCE DOCUMENT STATES PANELS/GRID ARE 24"x48", BUT FIELD VERIFICATION/PHOTOS INDICATE 24"x24" PANELS/GRID).

INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INTENDED APPLICATION.

### LEGEND:

-  EXISTING CEILING TO REMAIN
-  NEW SUSPENDED CEILING. CENTER GRID IN ROOM UNLESS NOTED OTHERWISE
-  CEILING HEIGHT
-  EXISTING 2x4 LIGHT FIXTURE
-  NEW 2x4 LIGHT FIXTURE
-  NEW CEILING SPEAKER
-  NEW EXHAUST GRILLE
-  CONSTRUCTION KEYED NOTE



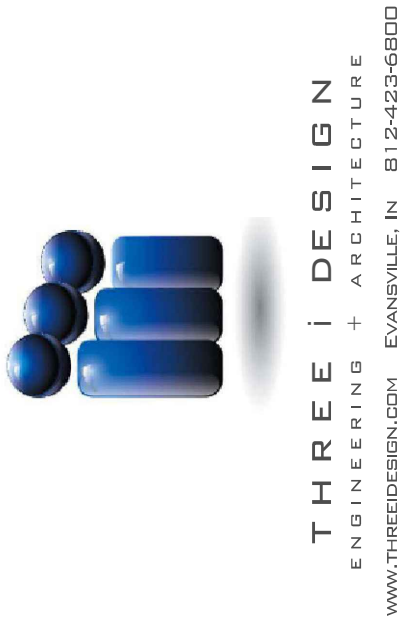
 REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"

HARTKE POOL INSURANCE REMEDIATION  
CITY OF EVANSVILLE  
201 N BOEKE RD, EVANSVILLE, IN 47711

REFLECTED CEILING PLAN  
AND LIGHTING NOTES

DRAWN BY: AWM	DESIGNED BY: MRB
CHECKED BY: MRB	DATE: 02/24/23
SCALE: 1/8" = 1' - 0"	
PROJECT NUMBER: 23063A	
SHEET NO: A3 4 of 5	

BID  
03/07/23



REV	DATE	BY	ITEM
A	02/28/23	MRB	ISSUED FOR REVIEW
B	03/07/23	MRB	ISSUED FOR BID

Mar 07, 2023 - 10:58am N:\Clients\A-F\City of Evansville\23063A4-Hartke Pool Storm Damage\23063A4-Hartke.dwg Plotted By: S(ETVAR,77)

PRODUCT SPECIFICATIONS:

FULLY ADHERED EPDM ROOF MEMBRANE:  
SURE-WHITE EPDM, NON-REINFORCED 45 MIL THICK, FULLY ADHERED ROOFING MEMBRANE AS MANUFACTURED BY CARLISLE (BASIS OF DESIGN). INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS FOR A 25 YEAR WARRANTY. INCLUDE ALL ACCESSORIES FOR A COMPLETE INSTALLATION (INSULATION, FASTENERS, ADHESIVES, SEALANTS, CLEANERS, TERMINATIONS, ETC.)

BASE BID ROOF INSULATION:  
INSULBASE POLYISO, CLOSED-CELL POLYISOCYANURATE RIGID FOAM PANEL AS MANUFACTURED BY CARLISLE (BASIS OF DESIGN). 1 1/2" THICK, 25 PSI TO PROVIDE A MINIMUM R-VALUE OF 6. FULLY ADHERE WITH ADHESIVE IN FULL CONTACT TO CLEAN AND DRY CONCRETE DECK. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ALTERNATE AA3 ROOF INSULATION:  
INSULBASE POLYISO, CLOSED-CELL POLYISOCYANURATE RIGID FOAM PANEL AS MANUFACTURED BY CARLISLE (BASIS OF DESIGN). 3 1/2" THICK, 25 PSI GRADE 3 BASE LAYER TO PROVIDE A MINIMUM R-VALUE OF 20.5. FULLY ADHERE WITH ADHESIVE IN FULL CONTACT TO CLEAN AND DRY CONCRETE DECK, BUTT EDGES AND STAGGER JOINTS OF ADJACENT PANELS. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

FLUID APPLIED VAPOR BARRIER:  
FLUID APPLIED VAPOR BARRIER TO BE TYVEK FLUID APPLIED WB SYSTEM BY DUPONT (BASIS OF DESIGN). INSTALL PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.

THRU-WALL FLASHING:  
THRU-WALL FLASHING TO BE TEXTROFLASH FLASHING, SELF ADHERING FLASHING BY HOHMANN & BARNARD, INC. 40 MIL THICK, 16" WIDTH WITH 3" STAINLESS STEEL DRIP PLATE AND TYPE 304 STAINLESS STEEL T1 TERMINATION BAR (BASIS OF DESIGN).

PRE-FORMED FLASHING CORNERS & END DAMS:  
PRE-FORMED FLASHING STAINLESS STEEL CORNERS & END DAMS FOR INSIDE CORNERS, OUTSIDE CORNERS AND END DAMS AS MANUFACTURED BY HOHMANN & BARNARD, INC. (BASIS OF DESIGN).

JOINT SEALANT/CAULK:  
THE FOLLOWING PRODUCTS ARE BASIS-OF-DESIGN FOR PRODUCT COMPARISON ONLY. PROVIDE PRODUCTS BY ONE OF THE FOLLOWING MANUFACTURERS, UNLESS NOTED OTHERWISE:

DAP PRODUCTS AND RPM COMPANY  
DOW CORNING CORPORATION  
SIKA CORPORATION, INC.  
TREMCO

JOINT SEALANTS/CAULKS SHALL BE ALEX PLUS, ACRYLIC LATEX CAULK PLUS SILICONE. COLOR SHALL MATCH OR BLEND WITH THE SURFACES BEING CAULKED. JOINT SEALANT/CAULK SHALL BE MULTI-PURPOSE, HIGHLY FLEXIBLE, AND DURABLE WITH AN EXCELLENT ADHESION. JOINT SEALANT/ CAULK SHALL BE PAINTABLE, SHALL HAVE A 35 YEAR DURABILITY GUARANTEE, AND SHALL MEET OR EXCEED ASTM SPECIFICATION C 834. PROVIDE BACKER RODS AND PRIMERS WHERE REQUIRED.

ALTERNATE AA2:  
FULLY ADHERED TPO ROOF MEMBRANE:  
TPO, NON-REINFORCED 45 MIL THICK, FULLY ADHERED ROOFING MEMBRANE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS FOR A 25 YEAR WARRANTY. INCLUDE ALL ACCESSORIES FOR A COMPLETE INSTALLATION (INSULATION, FASTENERS, ADHESIVES, SEALANTS, CLEANERS, TERMINATIONS, ETC.).

# ROOF DEMOLITION  
PLAN KEYNOTES:

1. REMOVE DAMAGED ROOF VENTILATORS, FLASHING, ROOF INSULATION, VENTS, ETC. AND BALANCE OF MEMBRANE ROOFING IN ACCORDANCE WITH INSURANCE DOCUMENT. CLEAN AND PREP EXISTING CONCRETE DECK AS REQUIRED TO RECEIVE NEW ROOF SYSTEM.
2. REMOVE BALANCE OF DAMAGED EDGE AND SIDE WALL FLASHING AND NAILER BOARDS, ETC. AS REQUIRED TO RECEIVE NEW ROOF AND EDGE SYSTEMS.

INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INTENDED APPLICATION.

# ROOF PLAN KEYNOTES:

1. PROVIDE AND INSTALL VAPOR BARRIER AND 1 1/2" POLYISOCYANURATE INSULATION BOARD OVER EXISTING CLEAN AND DRY CONCRETE ROOF DECK. PROVIDE AND INSTALL NEW 45 MIL, FULLY ADHERED EPDM ROOF MEMBRANE, IN ACCORDANCE WITH INSURANCE DOCUMENT.
2. PROVIDE AND INSTALL NEW DOME TYPE CENTRIFUGAL POWERED EXHAUST FAN SIMILAR TO DAMAGED UNIT IN ACCORDANCE WITH INSURANCE DOCUMENT. VERIFY QUANTITY PRIOR TO BIDDING.
3. PROVIDE AND INSTALL NEW FURNACE VENT, RAIN CAP, AND STORM COLLAR, IN ACCORDANCE WITH INSURANCE DOCUMENT. VERIFY QUANTITY PRIOR TO BIDDING.
4. PROVIDE AND INSTALL NEW DRAIN WITH BASKET. SLOPE TO DRAIN - MATCH ORIGINAL CONDITIONS IN ACCORDANCE WITH INSURANCE DOCUMENT. VERIFY QUANTITY PRIOR TO BIDDING.
5. PROVIDE AND INSTALL TREATED WOOD NAILERS/CANT STRIP AS REQUIRED TO REBUILD ROOF EDGE TO ORIGINAL CONDITION.
6. PROVIDE AND INSTALL NEW PERIMETER FLASHING - MATCH ORIGINAL SHAPE, COLOR, AND FINISH (ANODIZED ALUMINUM).
7. NEW MEMBRANE FLASHING ON PARAPET WALL, IN ACCORDANCE WITH INSURANCE DOCUMENT.
8. VERIFY CONDITION AND REPLACE EXISTING CONDENSING UNIT WITH LIKE MAKE AND MODEL, TO RESTORE FACILITY TO PRE-STORM CONDITION. EXISTING CONDENSING UNIT IS A 5 TON, AIR COOLED UNIT MANUFACTURED BY AMERICAN STANDARD USING R-410A REFRIGERANT. UNIT REQUIRES 208/230V - 1 PHASE - 60HZ POWER WITH 35A MIN AMPACITY AND 60A BREAKER.
9. REPLACE DAMAGED AND/OR MISSING ROOF VENTS, WHERE APPLICABLE, IN ACCORDANCE WITH INSURANCE DOCUMENT. VERIFY QUANTITY PRIOR TO PLACING BID.
10. EXISTING MEMBRANE ROOF SYSTEM TO REMAIN.
11. APPROXIMATE LIMITS OF ALTERNATE AA3 - CONDITIONED SPACE BELOW.

LEGEND:

=====	EXISTING CONDITION TO REMAIN
(X)	CONSTRUCTION KEYED NOTE
RD	ROOF DRAIN
VTR	VENT THROUGH ROOF

GENERAL ROOF PLAN NOTES:

- A. VERIFY NUMBER OF ROOF PENETRATIONS, ROOF DRAINS, VENTS, EXHAUST FANS, FLUES, ETC WITH ALL DISCIPLINES AND SYSTEMS.
- B. EXTEND TOP OF ALL VENTS A MINIMUM OF 1'-0" ABOVE FINISHED ROOF.
- C. THE SLOPE OF THE ROOF SHALL BE A MINIMUM 1/4" PER FOOT, UNLESS NOTED OTHERWISE.
- D. ALL FLASHING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND DETAILS. MAINTAIN A 1'-0" MINIMUM TOP OF FLASHING ABOVE FINISHED ROOF.

NOTE: CONTRACTOR SHALL VERIFY QUANTITY OF DAMAGED ROOFTOP OPENINGS AND DEVICES PRIOR TO PLACING BIDS.

ALTERNATE AA1: NOT USED IN BID SET.

ALTERNATE AA2: PROVIDE AND INSTALL 45 MIL TPO ROOF MEMBRANE IN LIEU OF EPDM MEMBRANE.

NOTE: SOUTH PORTION OF ROOF LOCATED ABOVE LOUNGE, EAST STORAGE, AND WEST STORAGE ARE CONSIDERED CONDITIONED SPACES PER THE INDIANA ENERGY CODE, THIS PORTION OF ROOF REQUIRES 3.5" MINIMUM OF CONTINUOUS POLYISOCYANURATE INSULATION.

ALTERNATE AA3: PROVIDE AND INSTALL MINIMUM 3.5" OF POLYISOCYANURATE CONTINUOUS ROOF INSULATION OVER LOUNGE, EAST STORAGE, AND WEST STORAGE, IN ACCORDANCE WITH THE INDIANA ENERGY CODE, ASHRAE 90.1-2007, IN LIEU OF ORIGINAL 1.5" THICK INSULATION. MODIFY ROOF EDGE CONSTRUCTION AS REQUIRED TO MAINTAIN EQUAL HEIGHT/APPEARANCE AROUND PERIMETER OF ROOF. USE TAPERED INSULATION AS REQUIRED TO TRANSITION BETWEEN INSULATION THICKNESS / ROOF LEVELS.



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B	03/07/23	MRB	ISSUED FOR BID

HARTKE POOL INSURANCE REMEDIATION  
CITY OF EVANSVILLE  
201 N BOEKE RD, EVANSVILLE, IN 47711

ROOF PLAN

DRAWN BY: AWM	DESIGNED BY: MRB
CHECKED BY: MRB	DATE: 02/24/23
SCALE: 1/8" = 1' - 0"	
PROJECT NUMBER: 23063A	
SHEET NO: A4 5 of 5	

BID  
03/07/23

